

Terhune Ground Floor and First Floor Bookstore Renovations H59-6288-JM

Spartanburg Community College
107 Community College Drive,
Spartanburg, South Carolina 29303

3202-240135



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SHEET NAME:
COVER SHEET

ORIG SUBMISSION: 2025.06.20

SHEET:
G-001
ISSUED FOR CONSTRUCTION

Terhune Ground Floor and First Floor
Bookstore Renovations H59-6288-JM
DELIVERY ORDER PROJECT NUMBER: H59-6288-JM
Spartanburg Community College
107 Community College Drive
Spartanburg, South Carolina 29303
LS3P PROJECT: 3202-240135

JOB SIGN ARTWORK

ISSUED FOR CONSTRUCTION

NOTE : THE PURPOSE OF THE EXISTING TOILET FIXTURE COUNT REDUCTION IS TO COMPLY WITH ICC A117.1 - STALL SPACE AND TURNING RADIUS REQUIREMENTS. UPDATED COUNTS REMAIN WITHIN THE 2021 INTERNATIONAL PLUMBING CODE (IPC) COUNT REQUIREMENTS AND WITHIN THE EXISTING BUILDING CODE REQUIREMENTS. THE PLUMBING COUNTS EXCEED THE MINIMUM REQUIRED FIXTURES EVEN WITH THE REDUCTION REQUIRED TO MEET ASSAILITY REQUIREMENTS.

2023 Edition2023 Edition

FOOTNOTES:

| |
|---|
| 1. Provide the complete name of the Function of Space using the left column of Table 1004.5 of the IBC ⁽¹⁾ |
| 2. Design Area per each occupant of the Function on this Story or the entire GSF or the NSF/RSF/Square Footage of the ⁽²⁾ |
| 3. Allowed Floor Areas in GSF per occupant per right column in Table 1004.5 of the IBC ⁽³⁾ |
| 4. Divide Column A (2) by Column B (3) for each function and result, rounded up to the nearest whole person ⁽⁴⁾ |
| 5. Subtotal all Column C values for the floor to yield the Design Occupant Load ⁽⁵⁾ |
| 6. Floors related to renovation Building Design Occupant Load - sum of all Column D value ⁽⁶⁾ |
| 7. Total occupant loads calculated as Renovation Floor Totals - occupants of all areas both in and out of scope on these floors included in totals ⁽⁷⁾ |

EMERGENCY SERVICE INFORMATION:

Generator 1: ☒ Emergency ☐ Standby ☐ Op. Standby 480 Voltage/Phase Natural Gas Fuel 150 KVA

Generator 2: ☐ Emergency ☐ Standby ☐ Op. Standby ☐ Integral Battery _____ Fuel _____ KVA

Exit/Emergency Egress Lighting Backup Power ☐ Battery ☐ Generator

Fire Alarm System: ☐ Manual ☐ Auto ☐ Manual/Auto ☐ Addressable Class: ☐ A ☐ B ☐ C ☐ Other _____

Fire Alarm System Method of Communication to Monitoring Station (please specify): _____

Fire Alarm Pathway Survivability: ☐ Level 0 ☐ Level 1 ☐ Level 2 ☐ Level 3

Carbon Monoxide Detection Required? ☐ Yes ☒ No

Carbon Dioxide Detection Required? ☐ Yes ☒ No

Emergency Responder Radio Coverage Enhancement Required? ☐ Yes ☒ No

LIGHTNING PROTECTION SYSTEM PROVIDED: ☐ Yes ☒ No

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LS3P PROJECT: 3202-240135

[illegible]

ORIG 2025.06.20
SUBMISSION:

SHEET:

G-003

ISSUED FOR CONSTRUCTION

Over all building SF 57800
Scope of work Ground Level and Level 1 total 20440
35.36%
Level 2 Renovation

THE LINE REPRESENTS THE EXACTLY ONE FOOT AND FIFTEEN INCHES

E

D

C

B

A

6/23/2025 10:14:19 AM

1

2

3

4

5

6

LIFE SAFETY- OCCUPANTS

| NUMBER | NAME | AREA | AREA FUNCTION (OLF) | AREA PER OCCUPANT | OCCUPANTS CALCULATED |
|--------------|---------------------------|---------|--|-------------------|----------------------|
| GROUND LEVEL | | | | | |
| G72 | SUCCESS COACH | 117 SF | (IBC2021) BUSINESS AREAS | 150 SF | 1 |
| G56 | COUNSELOR | 150 SF | (IBC2021) BUSINESS AREAS | 150 SF | 1 |
| G65 | COUNSELOR | 150 SF | (IBC2021) BUSINESS AREAS | 150 SF | 1 |
| G17 | STORAGE | 45 SF | (IBC2021) ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM | 300 SF | 1 |
| G57 | DRY GOODS | 185 SF | (IBC2021) MERCANTILE- STORAGE, STOCK, SHIPPING AREAS | 300 SF | 1 |
| G58 | FOOD PANTRY | 199 SF | (IBC2021) MERCANTILE- STORAGE, STOCK, SHIPPING AREAS | 300 SF | 1 |
| G53 | FUTURE | 113 SF | (IBC2021) BUSINESS AREAS | 150 SF | 1 |
| G59 | COORDINATOR | 114 SF | (IBC2021) BUSINESS AREAS | 150 SF | 1 |
| G47 | STAFF BREAK | 112 SF | (IBC2021) BUSINESS AREAS | 150 SF | 1 |
| G46 | MEETING | 149 SF | (IBC2021) BUSINESS AREAS | 150 SF | 1 |
| G50 | ADMIN WAITING | 180 SF | (IBC2021) BUSINESS AREAS | 150 SF | 2 |
| G52 | DEANS OFFICE | 142 SF | (IBC2021) BUSINESS AREAS | 150 SF | 1 |
| G42 | DIRECTOR | 146 SF | (IBC2021) BUSINESS AREAS | 150 SF | 1 |
| G43 | COMPLIANCE | 111 SF | (IBC2021) BUSINESS AREAS | 150 SF | 1 |
| G44 | ASST DIR CAREER SERVICES | 113 SF | (IBC2021) BUSINESS AREAS | 150 SF | 1 |
| G35 | INTEGRATION | 273 SF | (IBC2021) BUSINESS AREAS | 150 SF | 2 |
| G3A | GENERAL STORAGE | 204 SF | (IBC2021) ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM | 300 SF | 1 |
| G38 | NIGHT SHIFT OFFICER | 106 SF | (IBC2021) BUSINESS AREAS | 150 SF | 1 |
| G37 | LIEUTENANT | 127 SF | (IBC2021) BUSINESS AREAS | 150 SF | 1 |
| G36 | CHIEF | 144 SF | (IBC2021) BUSINESS AREAS | 150 SF | 1 |
| G34 | OFFICER WORKSTATION | 198 SF | (IBC2021) BUSINESS AREAS | 150 SF | 2 |
| G31A | ADMIN STORAGE | 55 SF | (IBC2021) ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM | 300 SF | 1 |
| G3B | EVIDENCE STOR. | 17 SF | (IBC2021) ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM | 300 SF | 1 |
| G40 | OPEN OFFICE | 362 SF | (IBC2021) BUSINESS AREAS | 150 SF | 3 |
| G45 | CAREER CLOSET | 189 SF | (IBC2021) BUSINESS AREAS | 150 SF | 2 |
| G48 | OPEN OFFICE | 326 SF | (IBC2021) BUSINESS AREAS | 150 SF | 3 |
| G61 | MENS | 238 SF | (none) | | |
| G31 | ADMIN DISPATCH | 113 SF | (IBC2021) BUSINESS AREAS | 150 SF | 1 |
| G30 | CAMPUS POLICE LOBBY | 137 SF | (IBC2021) BUSINESS AREAS | 150 SF | 1 |
| G20 | VESTIBULE | 85 SF | (IBC2021) BUSINESS AREAS | 150 SF | 1 |
| G21 | LOBBY | 1850 SF | (IBC2021) ASSEMBLY- NO FIXED SEATS- UNCONCENTRATED | 15 SF | 124 |
| G70 | ADMIN / LOBBY | 243 SF | (IBC2021) BUSINESS AREAS | 150 SF | 2 |
| G71 | MEETING | 175 SF | (IBC2021) BUSINESS AREAS | 150 SF | 2 |
| G74 | SUCCESS COACH | 118 SF | (IBC2021) BUSINESS AREAS | 150 SF | 1 |
| G76 | SUCCESS COACH | 100 SF | (IBC2021) BUSINESS AREAS | 150 SF | 1 |
| G78 | SUCCESS COACH | 100 SF | (IBC2021) BUSINESS AREAS | 150 SF | 1 |
| G80 | OPEN OFFICE | 487 SF | (IBC2021) BUSINESS AREAS | 150 SF | 4 |
| G91 | ADMIN / LOBBY | 119 SF | (IBC2021) BUSINESS AREAS | 150 SF | 1 |
| G93 | ADVISOR | 100 SF | (IBC2021) BUSINESS AREAS | 150 SF | 1 |
| G92 | ADVISOR | 135 SF | (IBC2021) BUSINESS AREAS | 150 SF | 1 |
| G94 | ADVISOR | 117 SF | (IBC2021) BUSINESS AREAS | 150 SF | 1 |
| G96 | ADVISOR | 119 SF | (IBC2021) BUSINESS AREAS | 150 SF | 1 |
| G97 | ADVISOR | 146 SF | (IBC2021) BUSINESS AREAS | 150 SF | 1 |
| G81 | SUCCESS COACH COORDINATOR | 144 SF | (IBC2021) BUSINESS AREAS | 150 SF | 1 |
| G77 | SUCCESS COACH | 117 SF | (IBC2021) BUSINESS AREAS | 150 SF | 1 |
| G75 | DEAN OF STUDENT SUCCESS | 149 SF | (IBC2021) BUSINESS AREAS | 150 SF | 1 |
| G73 | SUCCESS COACH | 115 SF | (IBC2021) BUSINESS AREAS | 150 SF | 1 |
| G60 | WOMENS | 235 SF | (none) | | |
| G22 | STUDENT LOUNGE | 381 SF | (IBC2021) ASSEMBLY- NO FIXED SEATS- UNCONCENTRATED | 15 SF | 26 |
| G16 | STORAGE | 63 SF | (IBC2021) ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM | 300 SF | 1 |
| TOTAL- | EXISTING STORAGE | 1277 SF | (IBC2021) ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM | 300 SF | 5 |

LIFE SAFETY- OCCUPANTS

| NUMBER | NAME | AREA | AREA FUNCTION (OLF) | AREA PER OCCUPANT | OCCUPANTS CALCULATED |
|--------------|-------------------|----------|--|-------------------|----------------------|
| | EXISTING STORAGE | 663 SF | (IBC2021) ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM | 300 SF | 3 |
| | Area | 340 SF | (IBC2021) ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM | 300 SF | 2 |
| X | EXISTING STORAGE | 413 SF | (IBC2021) ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM | 300 SF | 2 |
| | EXISTING STORAGE | 79 SF | (IBC2021) ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM | 300 SF | 1 |
| | EXISTING STORAGE | 69 SF | (IBC2021) ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM | 300 SF | 1 |
| TOTAL- | EXISTING STORAGE | 121 SF | (IBC2021) ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM | 300 SF | 1 |
| GRAND TOTAL- | | 12577 SF | | | 224 |
| LEVEL 1 | | | | | |
| 101 | LOBBY | 2688 SF | (IBC2021) ASSEMBLY- NO FIXED SEATS- UNCONCENTRATED | 15 SF | 180 |
| 102 | BOOKSTORE | 2493 SF | (IBC2021) MERCANTILE | 60 SF | 42 |
| 104 | WORK ROOM | 225 SF | (IBC2021) BUSINESS AREAS | 150 SF | 2 |
| 105 | MANAGER | 127 SF | (IBC2021) BUSINESS AREAS | 150 SF | 1 |
| 103 | ASSIST. MANAGER | 111 SF | (IBC2021) BUSINESS AREAS | 150 SF | 1 |
| 106 | WELCOME/RECEPTION | 481 SF | (IBC2021) BUSINESS AREAS | 150 SF | 4 |
| 110 | WOMEN'S RESTROOM | 233 SF | (none) | | |
| 111 | MENS RESTROOM | 241 SF | (none) | | |
| | EXISTING BUSINESS | 1220 SF | (IBC2021) BUSINESS AREAS | 150 SF | 9 |
| | EXISTING BUSINESS | 971 SF | (IBC2021) BUSINESS AREAS | 150 SF | 4 |
| | EXISTING BUSINESS | 6542 SF | (IBC2021) BUSINESS AREAS | 150 SF | 44 |
| | EXISTING BUSINESS | 3069 SF | (IBC2021) BUSINESS AREAS | 150 SF | 21 |
| | | 18000 SF | | | 308 |
| | | 30578 SF | | | 532 |

CODE KEY - IBC 2021

| OCCUPANCY TYPE | AREA PER OCCUPANT |
|---|-------------------|
| (IBC2021) ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM | 300 SF |
| (IBC2021) AGRICULTURAL BUILDING | 300 SF |
| (IBC2021) AIRCRAFT HANGARS | 500 SF |
| (IBC2021) AIRPORT TERMINAL - BAGGAGE CLAIM | 20 SF |
| (IBC2021) AIRPORT TERMINAL - BAGGAGE HANDLING | 300 SF |
| (IBC2021) AIRPORT TERMINAL - CONCOURSE | 100 SF |
| (IBC2021) AIRPORT TERMINAL - WAITING AREAS | 15 SF |
| (IBC2021) ASSEMBLY - EXHIBIT GALLERY AND MUSEUM | 30 SF |
| (IBC2021) ASSEMBLY - FIXED SEATS | 0 SF |
| (IBC2021) ASSEMBLY - GAMING FLOORS | 11 SF |
| (IBC2021) ASSEMBLY - NO FIXED SEATS - CONCENTRATED (CHAIRS ONLY) | 7 SF |
| (IBC2021) ASSEMBLY - NO FIXED SEATS - STANDING SPACE | 5 SF |
| (IBC2021) ASSEMBLY - NO FIXED SEATS- UNCONCENTRATED | 15 SF |
| (IBC2021) BOWLING CENTERS | 7 SF |
| (IBC2021) BUSINESS AREAS | 150 SF |
| (IBC2021) COURTROOMS - OTHER THAN FIXED SEATING | 40 SF |
| (IBC2021) DAY CARE | 35 SF |
| (IBC2021) DORMITORIES | 50 SF |
| (IBC2021) EDUCATIONAL - SHOPS AND OTHER VOCATIONAL ROOM AREAS | 50 SF |
| (IBC2021) EXERCISE ROOMS | 50 SF |
| (IBC2021) GROUP H-S FABRICATION AND MANUFACTURING AREAS | 200 SF |
| (IBC2021) INSTITUTIONAL AREAS - INPATIENT TREATMENT AREAS | 240 SF |
| (IBC2021) INSTITUTIONAL AREAS - OUTPATIENT AREAS | 100 SF |
| (IBC2021) INSTITUTIONAL AREAS - SLEEPING AREAS | 120 SF |
| (IBC2021) KITCHENS - COMMERCIAL | 200 SF |
| (IBC2021) LIBRARY - READING ROOMS | 50 SF |
| (IBC2021) LIBRARY - STACK AREA | 100 SF |
| (IBC2021) LOCKER ROOMS | 50 SF |
| (IBC2021) MERCANTILE | 60 SF |
| (IBC2021) MERCANTILE - STORAGE, STOCK, SHIPPING AREAS | 300 SF |
| (IBC2021) PARKING GARAGE | 200 SF |
| (IBC2021) RESIDENTIAL | 200 SF |
| (IBC2021) SKATING AND SWIMMING - DECK AREA | 15 SF |
| (IBC2021) SKATING AND SWIMMING - RINK AND POOL AREA | 50 SF |
| (IBC2021) STAGES AND PLATFORMS | 15 SF |
| (IBC2021) WAREHOUSES | 500 SF |



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Bookstore Renovations H59-6288-JM

DELIVERY ORDER PROJECT NUMBER: H59-6288-JM

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107 Community College Drive
Spartanburg, South Carolina 29303

LS3P PROJECT: 3202-240135

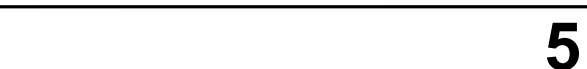
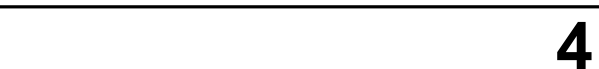
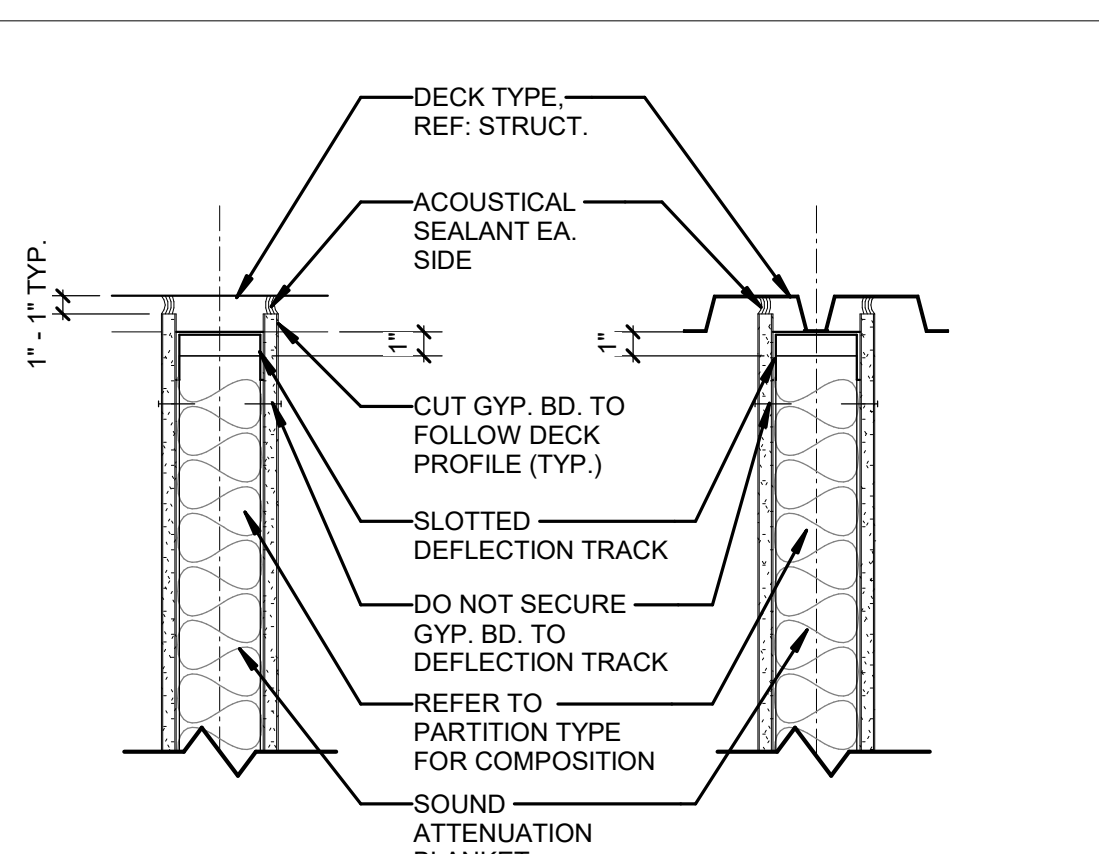
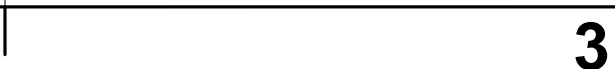
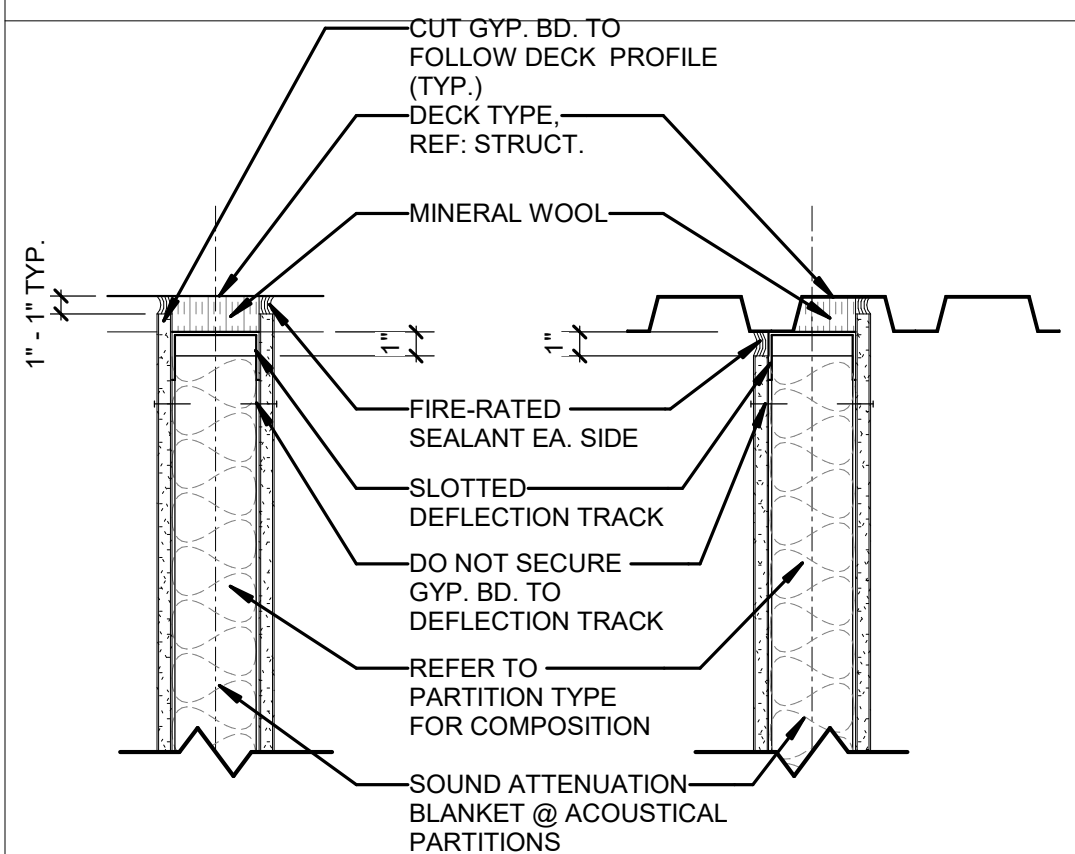
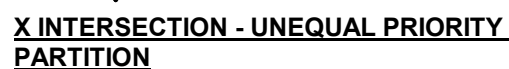
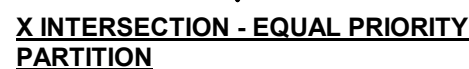
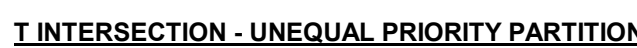
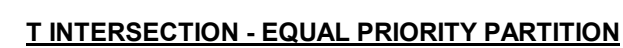
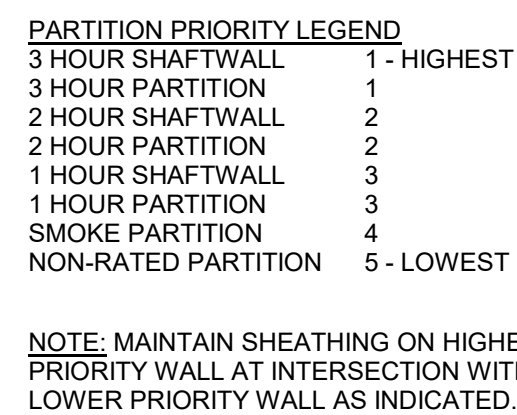
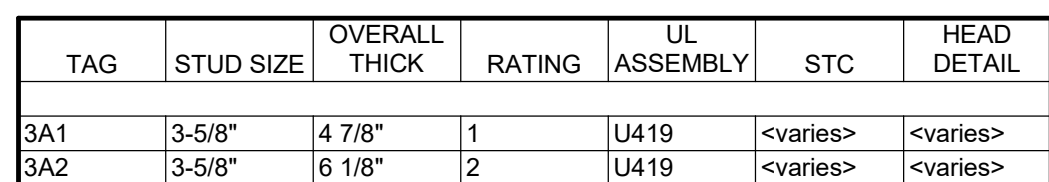
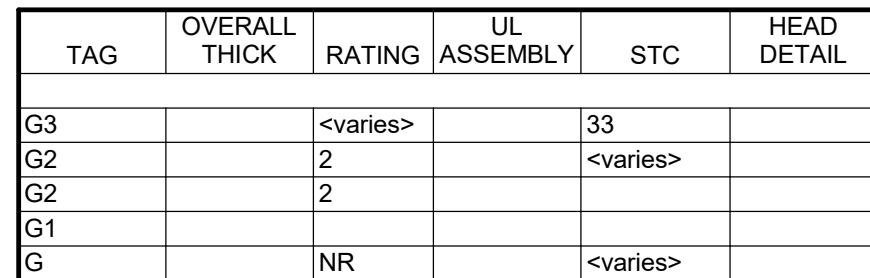
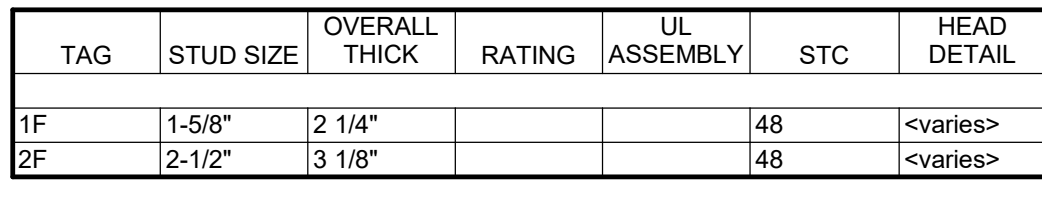
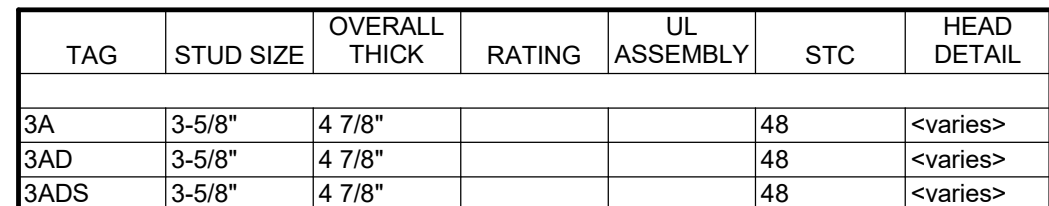
SHEET NAME:
LIFE SAFETY
FLOOR PLAN -
SCHEDULES

ORIG SUBMISSION: 2025.06.20

SHEET:

G-006

ISSUED FOR CONSTRUCTION



| | |
|------|---|
| 3AD | 3 5/8" METAL STUD, NON-RATED, GWB 6" ABOVE CLG |
| 3AB | 3 5/8" METAL STUD, NON-RATED, EXTEND TO DECK ABOVE |
| 3AC | 3 5/8" METAL STUD, NON-RATED W/ SOUND ATTENUATION |
| 3AK | 3 5/8" METAL STUD, 1 HOUR RATED SMOKE BARRIER |
| 3A1S | 3 5/8" METAL STUD, 1 HOUR RATED FIRE BARRIER W/ SOUND ATTENUATION |
| 3AZS | 3 5/8" METAL STUD, NON-RATED, (2) LAYERS OF GWB EACH SIDE W/ SOUND ATTENUATION |
| 3AS | 3 5/8" METAL STUD, 3 HOUR RATED FIRE WALL |
| 3A3 | 3 5/8" METAL STUD, NON RATED SMOKE PARTITION |
| 4C | 4" C H MIU, NON-RATED FIRE BARRIER |
| 6M | 6" NOM. CMU W/ ACOUSTIC FILL |
| 8M | 8" NOM. CMU, NON-RATED, MIN. COURSING ABOVE CLG |
| 8M3 | 8" NOM. CMU, 3 HOUR RATED FIRE WALL |
| 12MD | 12" NOM. CMU, NON-RATED, EXTEND TO DECK ABOVE |

THE LINE INDICATES THE EXISTING
CONDITIONS OF THE BUILDING
AND THE DEMOLITION PLAN.

E

D

C

B

A

6/23/2025 10:14:38 AM

A1

DEMOLITION PLAN - GROUND LEVEL

1/8" = 1'-0"

1

2

3

4

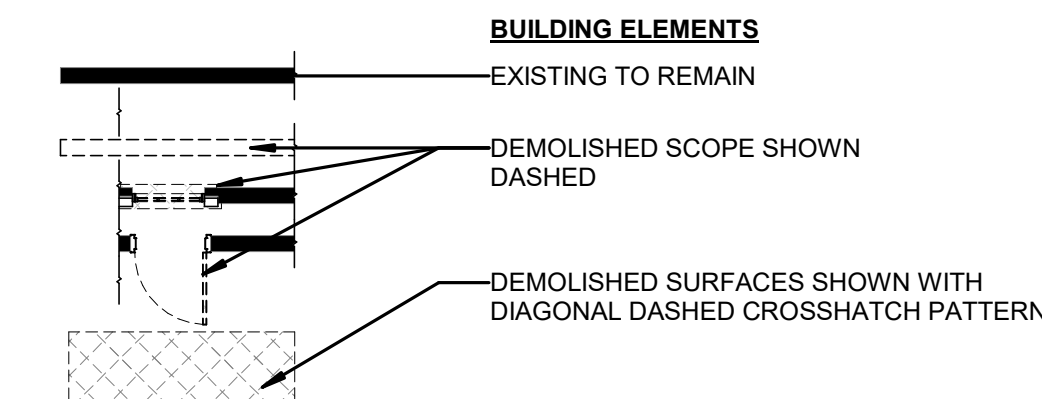
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6

DEMOLITION PLAN GENERAL NOTES

1. NUMBERED KEY NOTES DO NOT IMPLY SEQUENCE. CONTRACTOR TO PERFORM DEMOLITION WORK AS REQUIRED PER WORK SEQUENCE.
2. DEMOLITION DRAWINGS ARE INTENDED TO SHOW GENERAL AREAS OF DEMOLITION AS WELL AS GENERAL EXISTING CONDITIONS. THEY DO NOT SHOW ALL WORK WHICH MAY BE NECESSARY. COMPARE WITH DRAWINGS INDICATING NEW CONSTRUCTION.
3. REFER TO OTHER DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION ON DEMOLITION. REFER TO MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION DEMOLITION DRAWINGS FOR ADDITIONAL INFORMATION.
4. EXISTING WORK TO REMAIN SHALL BE TEMPORARILY SECURED, BRACED, STABILIZED AND PROTECTED UNTIL PERMANENT CONSTRUCTION IS IN PLACE.
5. VERIFY FIELD CONDITIONS PRIOR TO START OF DEMOLITION/CONSTRUCTION AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
6. VERIFY THAT CONSTRUCTION INDICATED FOR REMOVAL IS NOT LOAD BEARING OR IS ADEQUATELY STORED AS INDICATED ON STRUCTURAL DRAWINGS PRIOR TO STARTING ANY WORK.
7. ERECT BARRICADES, FENCES OR OTHER SECURABLE MEANS TO PREVENT UNAUTHORIZED ACCESS INTO CONSTRUCTION ZONES.
8. DO NOT ALLOW MATERIAL AND DEBRIS GENERATED BY DEMOLITION ACTIVITIES TO ACCUMULATE ON THE JOB SITE. REMOVE DAILY AND DISPOSE OF IN A LEGAL MANNER. NO ON-SITE SALE OR BURNING OF REMOVED ITEMS IS PERMITTED.
9. THE CONTRACTOR MUST MAINTAIN ADEQUATE SUPPORT, INSULATION, WATERPROOFING, EMERGENCY LIGHTING, SECURITY, ALARMS, ETC FOR ALL OR PART OF ITEMS WHICH ARE TO REMAIN.
10. TERMINATE AND CAP UTILITIES IN WALLS, CEILINGS, AND FLOORS, NOTED TO BE REMOVED AND NOT INTENDED FOR REUSE.
11. PREPARE AND PATCH SURFACES THAT ARE TO RECEIVE NEW FINISHES REQUIRED AFTER REMOVING OR RELOCATING DEVICES, WIRING OR OTHER APPURTENANCES NO LONGER APPROPRIATE FOR THE NEW USE OF THE ROOM.
12. MAINTAIN EXISTING FINISHES, OPERATIONAL CHARACTERISTICS, AND APPEARANCE OF ITEMS SCHEDULED TO REMAIN OR BE REUSED.
13. SAFEGUARDS SHALL BE IMPLEMENTED TO COMPLY WITH NCSB CHAPTER 33.
14. EGRESS SHALL BE MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION.
15. EXISTING PARTITIONS, DOORS, AND FRAMES SHALL REMAIN UNLESS NOTED OTHERWISE.
16. LIFE SAFETY DEVICES MAY BE RELOCATED.
17. REFER TO SHEETS G-004 AND G-005 FOR INFORMATION PERTAINING TO RATED PARTITIONS.

DEMOLITION GRAPHICS

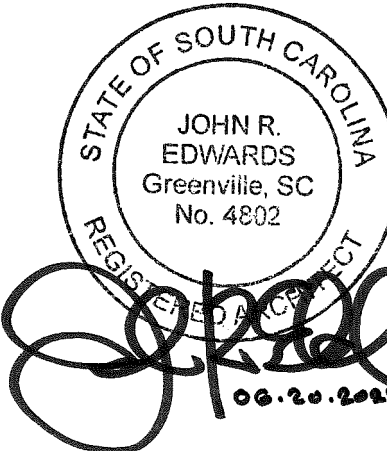
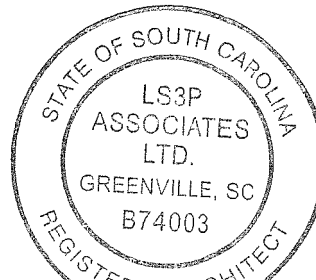


| # | DEMOLITION NOTES BY # |
|--------|---|
| NUMBER | NOTE |
| 1 | DEMOLISH EXISTING INTERIOR PARTITIONS & FURRINGS. PATCH AND REPAIR ADJACENT REMAINING WALLS AS REQUIRED. |
| 2 | DEMOLISH EXISTING DOORS, FRAME AND ANY SIDELIGHTS. COORDINATE WITH OWNER REGARDING SALVAGE. |
| 2 | REMOVE EXISTING DRINKING FOUNTAINS. COORDINATE WITH OWNER REGARDING SALVAGE. PREP AND PREPARE FOR NEW HI-LO DRINKING FOUNTAINS. |
| 3 | DEMOLISH EXISTING STOREFRONT DOORS, FRAME AND ANY SIDELIGHTS. |
| 4 | DEMOLISH EXISTING MILLWORK. PATCH AND REPAIR ADJACENT WALLS AS REQUIRED. |
| 5 | DEMOLISH EXISTING DEMOUNTABLE PARTITION. PATCH AND REPAIR ADJACENT FINISHES. |
| 6 | EXISTING RECEPTION DESK MILLWORK TO BE REMOVED. PATCH AND REPAIR ADJACENT FINISHES AND PARTITIONS. |
| 7 | DEMOLISH PORTION OF THE EXISTING WALL AND PREP FOR NEW DOOR. REFER TO FLOOR PLANS AND DOOR SCHEDULE. |
| 8 | DEMOLISH PORTION OF THE EXISTING WALL AND PREP FOR NEW OPENING. REFER TO FLOOR PLANS AND DOOR SCHEDULE. |
| 9 | EXISTING DOOR AND FRAME SHALL BE REMOVED AND REINSTALLED IN ROOM C18. SECURE OPENING WITH PLYWOOD. PAINT. |
| 10 | DEMOLISH EXISTING PLANTER. PREPARE FOR NEW CONCRETE SIDEWALK. CONTROL JOINTS TO MATCH EXISTING. |
| 11 | DEMOLISH PORTION OF THE EXISTING WALL AND PREPARE FOR NEW CEILING/STORY HEIGHT WINDOWS. REFER TO FLOOR PLAN AND WINDOW SCHEDULE. PATCH AND REPAIR AS REQUIRED FOR NEW WALL FINISH. |
| 12 | DEMOLISH PORTION OF THE EXISTING WALL AND PREPARE FOR NEW STOREFRONT AND ENTRANCE. REFER TO FLOOR PLANS AND STOREFRONT ELEVATIONS. |
| 13 | PREP EXISTING WALL WITH FRAMING AT JAMBS AND HEADER FOR REUSE OF EXISTING FRAME AND DOOR. |
| 14 | DEMOLISH EXISTING WALL PANELS IN ELEVATOR CAB. PREP AND PREPARE FOR NEW FINISH. |
| 15 | EXISTING SPRINKLER PIPING TO REMAIN. |
| 16 | EXISTING FIRE PROTECTION PIPING AND VALVE TO REMAIN IN WALL. REMOVE EXISTING VALVE BOX AND PREP FOR NEW SMALLER BOX. |
| 17 | REMOVE EXISTING FIRE EXTINGUISHER AND CABINET. STORE FOR NEW LOCATION. PATCH AND REPAIR DRYWALL. |
| 18 | REMOVE EXISTING WALLCOVERING. PATCH AND REPAIR FOR NEW FINISH. |
| 19 | REMOVE EXISTING FINISHES - WALL, BASE, FLOORING. |
| 20 | EXISTING CMU RETAINING WALL AND FENCE RAILING TO REMAIN. |
| 21 | REMOVE PIN HOLE SIGNAGE AND/OR FRAMES ON WALLS. COORDINATE WITH OWNER REGARDING SALVAGE. PATCH HOLES AND PREPARE FOR NEW FINISH. |
| 22 | REMOVE EXISTING DRINKING FOUNTAINS. COORDINATE WITH OWNER REGARDING SALVAGE. PREP AND PREPARE FOR NEW HI-LO DRINKING FOUNTAINS. |
| 23 | DEMOLISH EXISTING TILE. SAND AND PREPARE FOR NEW FLOOR AND/OR WALL FINISH. |
| 24 | REMOVE SECTION OF EXISTING SIDEWALK. PREP FOR NEW SIDEWALK AT NEW ENTRY. |
| 25 | DEMOLISH EXISTING VERTICAL BLINDS. PATCH AND REPAIR ADJACENT FINISHES AND GYP. |
| 26 | DEMOLISH EXISTING WALK OFF MAT. PREP AND PREPARE FOR NEW. |
| 27 | SAW CUT EXISTING CONCRETE SIDEWALK. EXACT LOCATION T.B.D. |
| 28 | STAIR TREADS TO BE REMOVED. PREP FOR NEW STAIR TREADS. |
| 29 | EXISTING COLUMN COVER TO REMAIN. |
| 30 | REMOVE EXISTING WALL SCONCES. COORDINATE WITH OWNER REGARDING SALVAGE. |
| 31 | REMOVE EXISTING DOOR, FRAME, AND HARDWARE. INSTALL AT NEW WALL LOCATION. |
| 32 | REMOVE EXISTING TOILETS. PATCH AND REPAIR ADJACENT FINISH. REUSE PLUMBING CONNECTIONS WITH EXTENSIONS AND INSTALL NEW FIXTURES AT NEW LOCATIONS. COORDINATE WITH OWNER REGARDING SALVAGE. |
| 33 | DEMOLISH EXISTING PARTITIONS, URINAL SCREEN, TOILET ACCESSORIES, AND MIRRORS. PATCH AND REPAIR ADJACENT FINISH. |
| 34 | EXISTING FIRE EXTINGUISHER AND CABINET TO REMAIN. |



SPARTANBURG
Community College

Spartanburg
Community
College



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Terhune Ground Floor and First Floor
Bookstore Renovations H59-6288-JM

DELIVERY ORDER PROJECT NUMBER: H59-6288-JM

Spartanburg Community College
107 Community College Drive
Spartanburg, South Carolina 29303

LS3P PROJECT: 3202-240135

SHEET NAME:
DEMOLITION
FLOOR PLAN -
GROUND LEVEL

ORIG SUBMISSION: 2025.06.20

SHEET:

A-100

ISSUED FOR CONSTRUCTION



1. NUMBERED KEY NOTES DO NOT IMPLY SEQUENCE. CONTRACTOR TO PERFORM DEMOLITION WORK AS REQUIRED PER WORK SEQUENCE.
2. DEMOLITION DRAWINGS TO BE PREPARED TO SHOW ALL STRUCTURAL AREAS OF DEMOLITION AS WELL AS GENERAL EXISTING CONDITIONS. THEY DO NOT SHOW ALL WORK WHICH MAY BE NECESSARY. COMPARE WITH DRAWINGS INDICATING EXISTING CONSTRUCTIONS.
3. REFER TO OTHER DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION ON DEMOLITION. REFER TO MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION DRAWINGS FOR ADDITIONAL INFORMATION.
4. EXISTING WORK TO REMAIN SHALL BE TEMPORARILY SECURED, BRACED, STABILIZED AND PROTECTED UNTIL PERMANENT CONSTRUCTION IS IN PLACE.
5. VERIFY FIELD CONDITIONS PRIOR TO REMOVAL OF DEMOLITION CONSTRUCTION AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
6. VERIFY THAT CONSTRUCTION INDICATED FOR REMOVAL IS NOT LOAD BEARING UNLESS SPECIFICALLY NOTED AS INDICATED ON STRUCTURAL DRAWINGS PRIOR TO STARTING ANY WORK.
7. ERECT BARRICADES, FENCES OR OTHER SECURABLE MEANS TO PREVENT UNAUTHORIZED ACCESS TO THE WORK AREA.
8. DO NOT ALLOW MATERIAL AND DEBRIS GENERATED BY DEMOLITION ACTIVITIES TO ACCUMULATE ON THE JOB SITE. REMOVE DAILY AND DISPOSE OF IN A LEGAL MANNER. NO ON-SITE STORAGE OF MATERIALS OR DEBRIS IS PERMITTED.
9. THE CONTRACTOR MUST MAINTAIN ADEQUATE SECURITY, INSULATION, WATERPROOFING, EMERGENCY LIGHTING, SECURITY, ALARMS, ETC FOR ALL OR ALL OF THE ITEMS WHEN THE ITEMS ARE TO BE REMOVED.
10. TERMINATE AND CAP UTILITIES IN WALLS, CEILINGS, AND FLOORS, NOTED TO BE REMOVED AND NOT TO BE RELOCATED.
11. PREPARE AND PATCH SURFACES THAT ARE TO RECEIVE NEW FINISHES REQUIRED AFTER REMOVING OR RELOCATING DEVICES, WIRING OR OTHER MECHANICALS IN WALLS, CEILINGS, AND FLOORS TO MATCH THE ROOM.
12. MAINTAIN EXISTING FINISHES, OPERATIONAL CHARACTERISTICS, AND APPEARANCE OF ITEMS SCHEDULED TO REMAIN OR BE REUSED.
13. SIGNAGE AND BARRIERS SHALL BE MAINTAINED THROUGHOUT CHAPTER 33.
14. EGRESS SHALL BE MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION.
15. EXISTING PARTITIONS, DOORS AND FENCES SHALL REMAIN UNLESS NOTED OTHERWISE.
16. LIFE SAFETY DEVICES MAY BE RELOCATED.
17. REFER TO SHEETS G-004 AND G-005 FOR INFORMATION PERTAINING TO RATED PARTITIONS.

BUILDING ELEMENTS

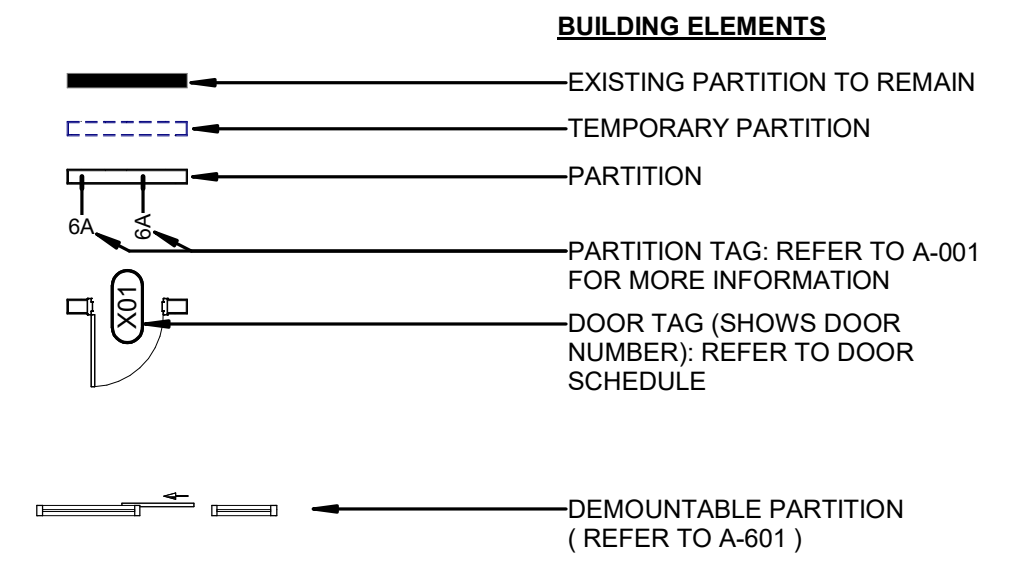
- EXISTING TO REMAIN
- DEMOLISHED SCOPE SHOWN DASHED
- DEMOLISHED SURFACES SHOWN WITH DIAGONAL DASHED CROSSHATCH PATTERN

| # | DEMOLITION NOTES BY # |
|--------|---|
| NUMBER | NOTE |
| 1 | DEMOLISH EXISTING INTERIOR PARTITIONS & FURRINGS. PATCH AND REPAIR ADJACENT REMAINING WALLS AS REQUIRED. |
| 2 | DEMOLISH EXISTING DOORS, FRAME AND ANY SIDELIGHTS. COORDINATE WITH OWNER REGARDING SALVAGE. |
| 3 | REMOVE EXISTING DRINKING FOUNTAINS. COORDINATE WITH OWNER REGARDING SALVAGE. PREP AND PREPARE FOR NEW HI-LO DRINKING FOUNTAINS. |
| 4 | DEMOLISH EXISTING STOREFRONT DOORS, FRAME AND ANY SIDELIGHTS. DEMOLISH EXISTING MILLWORK. PATCH AND REPAIR ADJACENT WALLS AS REQUIRED. |
| 5 | DEMOLISH EXISTING DEMOUNTABLE PARTITION. PATCH AND REPAIR ADJACENT FINISHES. |
| 6 | EXISTING RECEPTION DESK MILLWORK TO BE REMOVED. PATCH AND REPAIR ADJACENT FINISHES AND PARTITIONS. |
| 7 | DEMOLISH PORTION OF THE EXISTING WALL AND PREP FOR NEW DOOR. REFER TO FLOOR PLANS/DOORS. REFER TO FLOOR PLAN AND WINDOW SCHEDULE. |
| 8 | DEMOLISH PORTION OF THE EXISTING WALL AND PREP FOR NEW OPENING. REFER TO FLOOR PLANS AND DOOR SCHEDULE. |
| 9 | EXISTING DOOR AND FRAME SHALL BE REMOVED AND REINSTALLED IN ROOM C-16. SECURE THE REMAINING DOOR SCHEDULE. PAINT. |
| 10 | DEMOLISH EXISTING PLASTER. PREPARE FOR NEW CONCRETE SIDEWALK CONTROL JOINTS TO MATCH EXISTING. |
| 11 | DEMOLISH PORTION OF THE EXISTING WALL AND PREPARE FOR NEW CLERESTORY HEIGHT WINDOW. REFER TO FLOOR PLAN AND WINDOW SCHEDULE. PATCH AND REPAIR AS REQUIRED FOR NEW WALL FINISH. |
| 12 | DEMOLISH PORTION OF THE EXISTING WALL AND PREPARE FOR NEW STOREFRONT AND ENTRANCE. REFER TO FLOOR PLANS AND STOREFRONT ELEVATIONS. |
| 13 | PREP EXISTING WALL WITH FRAMING AT JAMBS AND HEADER FOR REUSE OF EXISTING FRAME. REFER TO FLOOR PLANS AND WINDOW SCHEDULE. |
| 14 | DEMOLISH EXISTING WALL PANELS IN ELEVATOR CAB. PREP AND PREPARE FOR NEW FINISH. |
| 15 | EXISTING SPRINKLER PIPING TO REMAIN. |
| 16 | EXISTING FIRE PROTECTIVE PIPING AND VALVE TO REMAIN IN WALL. REMOVE EXISTING VALVE BOX AND PREP FOR NEW SMALLER BOX. |
| 17 | REMOVE EXISTING FIRE EXTINGUISHER AND CABINET. STORE FOR NEW LOCATION. PATCH AND REPAIR DRYWALL. |
| 18 | REMOVE EXISTING PLASTER. PATCH AND REPAIR FOR NEW FINISH. |
| 19 | REMOVE EXISTING FINISHES - WALL, BASE, FLOORING. |
| 20 | EXISTING CMU RETAINING WALL AND FENCE RAILING TO REMAIN. |
| 21 | REMOVE PIN HOLE SIGNAGE AND/OR FRAMES ON WALLS. COORDINATE WITH OWNER REGARDING SALVAGE. PATCH HOLES AND PREPARE FOR NEW FINISH. |
| 22 | REMOVE EXISTING DRINKING FOUNTAINS. COORDINATE WITH OWNER REGARDING SALVAGE. PREP AND PREPARE FOR NEW HI-LO DRINKING FOUNTAINS. |
| 23 | DEMOLISH EXISTING TILE. SAND AND PREPARE FOR NEW FLOOR AND/OR WALL FINISH. |
| 24 | REMOVE SECTION OF EXISTING SIDEWALK. PREP FOR NEW SIDEWALK AT NEW ENTRY. |
| 25 | DEMOLISH EXISTING VERTICAL BLINDS. PATCH AND REPAIR ADJACENT FINISHES AND GYP. |
| 26 | DEMOLISH EXISTING WALL OFF MAT. PREP AND PREPARE FOR NEW. |
| 27 | SAW CUT EXISTING CONCRETE SIDEWALK. EXACT LOCATION T.B.D. |
| 28 | STAIR TREADS TO BE REMOVED. PREP FOR NEW STAIR TREADS. |
| 29 | EXISTING COLUMN COVER TO REMAIN. |
| 30 | REMOVE EXISTING WALL SCONES. COORDINATE WITH OWNER REGARDING SALVAGE. |
| 31 | REMOVE EXISTING DOOR, FRAME, AND HARDWARE. INSTALL AT NEW WALL LOCATION. |
| 32 | REMOVE EXISTING TOILETS, PATCH AND REPAIR ADJACENT FINISH. REUSE PLUMBING CONNECTIONS WITH EXTENSIONS AND INSTALL NEW FIXTURES AT NEW LOCATIONS. COORDINATE WITH OWNER REGARDING SALVAGE. |
| 33 | DEMOLISH EXISTING PARTITIONS, URINAL SCREEN, TOILET ACCESSORIES AND MIRRORS. PATCH AND REPAIR ADJACENT FINISHES. |
| 34 | EXISTING FIRE EXTINGUISHER AND CABINET TO REMAIN. |

FLOOR PLAN GENERAL NOTES

1. INTERIOR DIMENSIONS INDICATED ARE TO FACE OF STUD TO FACE OF STUD, U.N.O.
2. DOOR OPENINGS "4" FROM THE NEAREST PERPENDICULAR WALL.
3. FIRE AND SOUND RATED WALLS/PARTITIONS TO BE CONSTRUCTED TIGHT TO STRUCTURE, PIPING, DUCTWORK AND OTHER PENETRATIONS. ALL WORK IS TO BE CONSTRUCTED TO MEET THE STIPULATED REQUIREMENTS.
4. WHERE PARTITIONS OF DIFFERENT FIRE RATINGS INTERSECT, THE HIGHEST FIRE RATING PARTITION SHALL BE MAINTAINED. MAIN PARTITION FIRE RATING BEHIND RECESSED FIRE EXTINGUISHER CABINETS.
5. INSTALL BLOCKING IN PARTITIONS FOR CASEWORK, WALL MOUNTED TELEVISIONS, TRIM, ETC. TO BE PROVIDED BY THE CLIENT (SEE THE SPECIFICATIONS).
6. COLOR OF FACE PLATE AND RECEPTACLE TO BE SELECTED BY ARCHITECT.
7. PROVIDE SAFETY PLANS FOR REQUIRED FIRE SEPARATION WALLS ON G-004 & G-005.
8. SEE SHEET A-601 DOOR TYPES.
9. SEE SHEET A-601 PARTITION SCHEDULE.
10. SEE SHEETS A-761 THRU A-763 FOR INTERIOR DETAILS.
11. SEE SHEETS A-761 THRU A-763 FOR EXTERIOR MAINTENANCE, ACCESSORY DESCRIPTIONS & MOUNTING HEIGHTS.
12. SEE SHEETS A-800 & A-801 FOR FINISH FLOORING, ELEVATIONS, AND PATTERNS.
13. SEE SHEET A-720 & A-721 FOR FINISH SCHEDULE AND LEGEND.
14. REPAIR AND REPAIR PARTITIONS TO BE PROVIDED BY THE CONTRACTOR TO PROVIDE FOR ALL NEW APPEARANCE INCLUDING BUT NOT LIMITED TO ABANDONED LOW VOLTAGE RECEPTACLE LOCATIONS.
15. SEE A-300 & A-301 FOR FINISH SCHEDULE.
16. FINISH WORK IN THE ELEVATOR CAB MUST BE ACCOMPLISHED AFTER HOURS AND/OR ON WEEKENDS SO THAT THE ELEVATOR REMAINS OPERATIONAL DURING NORMAL BUSINESS HOURS. THE ELEVATOR WORK IS COMPLETED CONTRACTOR SHALL COORDINATE WITH THE OWNER.

FLOOR PLAN LEGEND



| # | FLOOR PLAN NOTES BY # |
|--------|---|
| NUMBER | NOTE |
| 1 | PREFABRICATED METAL CANOPY, PREFINISHED, SECURE TO EXISTING STRUCTURE. B.O.D. MAPES |
| 2 | IN-SUE SIGNAGE. REFER TO A612 |
| 3 | WALL MOUNTED TV WITH BRACKET BY OWNER. GC TO PROVIDE BLOCKING, POWER, AND DATA PORTS - REFER TO ELECTRICAL DRAWINGS. TYPICAL CONFERENCE ROOM TO BE 65" MONITOR SIZE AND MOUNTED 42" AFF AT BOTTOM OF TV. TYPICAL INFORMATION CHANNEL TV TO BE 55" MONITOR SIZE AND MOUNTED 66" AFF AT BOTTOM OF TV. |
| 4 | INSTALL NEW GYPSUM WALLBOARD WHERE DAMAGED BOARD WAS PREVIOUSLY REMOVED. FINISH ALL JOINTS. PAINT TO MATCH EXISTING. INSTALL SCHEDULED BASE. |
| 5 | NEW CONCRETE SIDEWALK, CONJOINT JOINTS TO MATCH EXISTING. PROVIDE JOINT FILLER BETWEEN NEW CONCRETE, THE EXISTING SIDEWALK AND THE BUILDING FACE. |
| 6 | PROVIDE NEW SIDEWALK AT DOOR ENTRY. SLOPE TO MEET ADA REQUIREMENTS. |
| 7 | EXISTING FIRE PROTECTION PIPING/VALVE TO REMAIN IN WALL. PROVIDED A SMALLER STAINLESS STEEL VALVE BOX TO FIT NEW WALL CONFIGURATION |
| 8 | PROVIDE NEW WALL PANEL FOR FIRE PROTECTION ACCESS |
| 9 | AREA IS DESIGNATED FOR USE AS A MARKET POD (BY OTHERS.) COORDINATE WITH OWNER. PROVIDE POWER. REFER TO ELECTRICAL DRAWINGS. |
| 10 | SIGNAGE FOR COUNSELING CENTER |
| 11 | INSTALL NEW WALL TO MATCH EXISTING. REUSE EXISTING DOOR FOR OPENING. |
| 12 | PROVIDE METAL WALL ACCESS PANEL. PAINT TO MATCH WALL COLOR. COORDINATE WITH PLUMBING. |

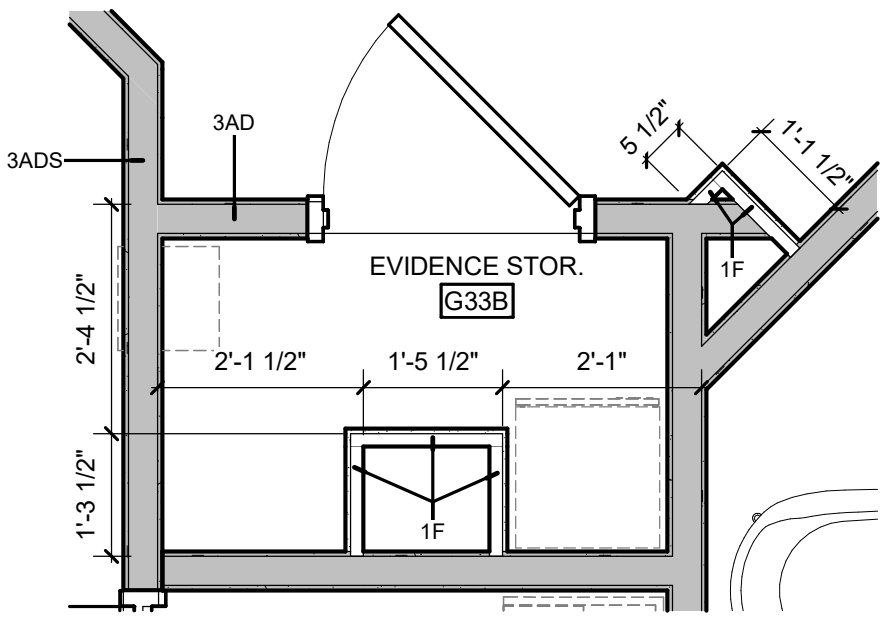
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HEET NAME:
FLOOR PLAN-
GROUND LEVEL

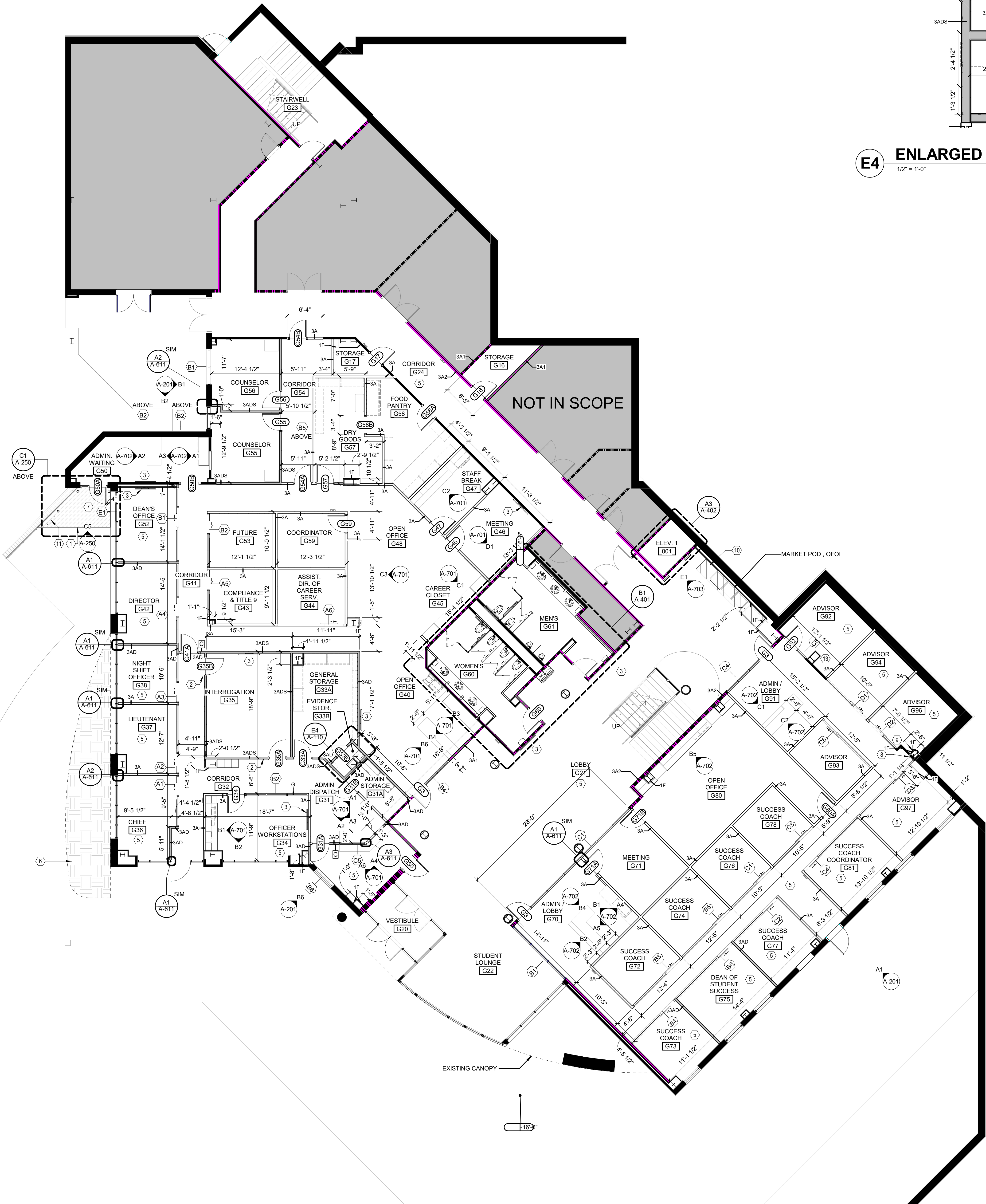
ORIGINAL SUBMISSION: 2025.06.20

HEET: **A-110**

ISSUED FOR CONSTRUCTION



F4 ENLARGED PLAN - EVIDENCE STORAGE G33B

$$1/2^{\circ} = 1'-0''$$


FLOOR PLAN- GROUND LEVEL

$$1/8" = 1'-0"$$

FLOOR PLAN GENERAL NOTES

1. INTERIOR DIMENSIONS INDICATED ARE TO FACE OF STUD TO FACE OF STUD, U.N.O.
2. THE DOOR OPENINGS 4" FROM THE NEAREST PERPENDICULAR WALL, FIRE AND SOUND RATED WALLS/PARTITIONS TO BE CONSTRUCTED TIGHT TO STRUCTURE, PIPING, DUCTWORK AND OTHER PENETRATIONS. ALL WORK IS TO BE CONSTRUCTED TO STRUCTURE.
3. WHERE PARTITIONS OF DIFFERENT FIRE RATINGS INTERSECT, THE HIGHEST FIRE RATING SHALL BE MAINTAINED. PROVIDE A MINIMUM 1" PARTITION FIRE RATING BEHIND RECESSED FIRE EXTINGUISHER CABINETS.
5. INSTALL BLOCKING IN PARTITIONS FOR CASEWORK. WALL MOUNTED EQUIPMENT, TRIM AND ACCESSORIES TO BE SECURED TO BLOCKING IN THE SPECIFICATIONS.
6. COLOR OF FLOOR PLATE AND RECEPTACLE TO BE SELECTED BY ARCHITECT.
7. SEE SAFETY PLANS FOR REQUIRED FIRE SEPARATION WALLS ON G-004 & G-005.
8. SEE SHEET A-601 DOOR TYPES.
9. SEE SHEET A-001 FOR PARTITION SCHEDULE.
10. SEE SHEETS A-761 THRU A-763 FOR INTERIOR DETAILS.
11. SEE SHEETS A-700 THRU A-705 FOR INTERIOR ELEVATIONS, ACCESSORY DESCRIPTIONS & MOUNTING HEIGHTS.
12. SEE SHEETS A-800 & A-801 FOR FINISH FLOORING, TRANSITIONS AND PARTITIONS.
13. SEE SHEET A-720 & A-721 FOR FINISH SCHEDULE AND LEGEND.
14. PROVIDE AND REPAIR ALL NECESSARY PLUMBING AND SCHEMATIC TO PROVIDE FOR LIKE NEW APPEARANCE INCLUDING BUT NOT LIMITED TO ABANDONED LOW VOLTAGE RECEPTACLE LOCATIONS.
15. SEE A-000 & A-001 FOR EQUIPMENT PLANS & SCHEDULE.
16. FINISH WORK IN THE ELEVATOR CAB MUST BE ACCOMPLISHED AFTER HOURS AND/OR ON WEEKENDS SO THAT THE ELEVATOR REMAINS OPERATIONAL DURING NORMAL BUSINESS HOURS. FINISH WORK SHALL BE COMPLETED. CONTRACTOR SHALL COORDINATE WITH THE OWNER.

FLOOR PLAN LEGEND

BUILDING ELEMENTS

-
- The diagram illustrates the components of a partition and slab in a building system. It shows a cross-section of a wall and floor assembly. The wall assembly includes an existing partition to remain, a temporary partition, and a partition tag. The floor assembly includes a slab, a demountable partition (refer to A-601), and an existing slab to remain. The diagram also shows a door tag (shows door number) and a door schedule.
- EXISTING PARTITION TO REMAIN
 - TEMPORARY PARTITION
 - PARTITION
 - PARTITION TAG: REFER TO A-601 FOR MORE INFORMATION
 - DOOR TAG (SHOWS DOOR NUMBER): REFER TO DOOR SCHEDULE
 - SLAB
 - DEMOUNTABLE PARTITION (REFER TO A-601)
 - EXISTING SLAB TO REMAIN

| # | FLOOR PLAN NOTES BY # |
|--------|--|
| NUMBER | NOTE |
| 1 | PREFABRICATED METAL CANOPY. NOTIFIED. SECURE TO EXISTING STRUCTURE. B.O.D. MAPES |
| 2 | IN-USE SIGNAGE. REFER TO A-612 |
| 3 | WALL MOUNTED TV WITH CABLE BY OWNER. GC TO PROVIDE BLOCKING, POWER, AND DATA PORTS. -REFER TO ELECTRICAL DRAWINGS. TYPICAL CONFERENCE ROOM TV TO BE 85" MONITOR SIZE AND MOUNTED 42" AFF AT BOTTOM OF TV. TV WITH CABLE CHANNEL TV TO BE 65" MONITOR SIZE AND MOUNTED 66" AFF AT BOTTOM OF TV. |
| 4 | INSTALL NEW GYPSUM WALLBOARD WHERE DAMAGED BOARD WAS PREVIOUSLY REMOVED. FINISH ALL JOINTS, PAINT TO MATCH EXISTING. INSTALL SCHEDULED BASE. |
| 5 | NEW CONCRETE SIDEWALK, CORNERS, JOINTS TO MATCH EXISTING. PROVIDE JOINT FILLER BETWEEN NEW CONCRETE. THE EXISTING SIDEWALK AND THE BUILDING FACE. |
| 6 | PROVIDE NEW SIDEWALK AT DOOR ENTRY. SLOPE TO MEET ADA REQUIREMENTS. |
| 7 | EXISTING FIRE PROTECTION PIPING/VALVE TO REMAIN IN WALL. PROVIDED A SMALLER STAINLESS STEEL, VALVE BOX TO FIT NEW WALL CONFIGURATION. PROVIDE NEW WALL PANEL, FIRE PROTECTION ACCESS. |
| 8 | AREA IS DESIGNATED FOR USE AS A MARKET POD (BY OTHERS). COORDINATE WITH OWNER, PROVIDE POWER, REFER TO ELECTRICAL DRAWINGS. |
| 9 | SIGNAGE FOR COUNSELING CENTER |
| 10 | INSTALL NEW WALL TO MATCH EXISTING, REUSE EXISTING DOOR FOR OPENING. |
| 11 | PROVIDE METAL WALL ACCESS PANEL. PAINT TO MATCH WALL COLOR. COORDINATE WITH PLUMBING. |

SHEET NAME:
FLOOR PLAN -
LEVEL 1

RIG 2025.06.20
SUBMISSION:

HEET: **A-111**

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NOT IN SCOPE

BOOKSTORE

MANAGER

105

FLOOR PLAN- LEVEL 1

$$1/8'' = 1'-0''$$

6/23/2025 10:15:24 AM



$$1/8'' = 1'-0''$$

$$1/8'' = 1'-0''$$

ISSUED FOR CONSTRUCTION

A

A1

1/8" = 1'-0"

6

A5

1/8" = 1'-0"

| NUMBER | NOTE |
|--------|--|
| 1 | EXISTING GWB SOFFIT TO REMAIN |
| 2 | CEILING-MOUNTED DIGITAL CLOCKS TO REMAIN. REMOVE DURING CONSTRUCTION AND REINSTALL FOR NEW WORK. |
| 3 | REMOVE EXISTING PROJECTOR AND PROJECTOR SCREEN. COORDINATE WITH OWNER REGARDING SALVAGE. |
| 4 | REMOVE EXISTING ARTICHOKE LIGHT FIXTURES. COORDINATE WITH OWNER REGARDING SALVAGE. |

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LS3P PROJECT: 3202-240135

SHEET:

A-121

ISSUED FOR CONSTRUCTION

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THE LINE SHOWN ABOVE IS EXACTLY ONE FOOT ABOVE THE FINISH FLOOR

E

D

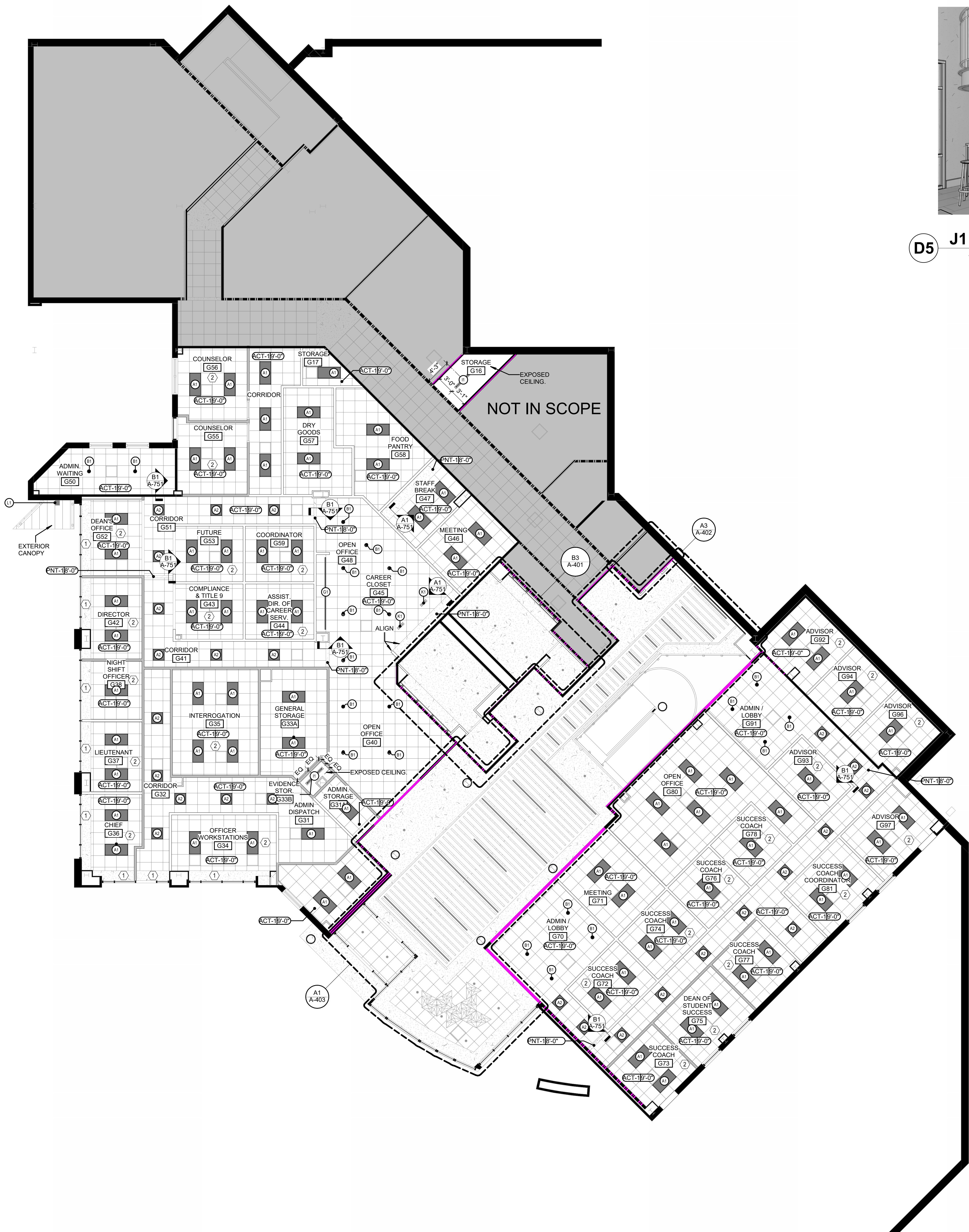
C

B

A

A1 REFLECTED CEILING PLAN - GROUND LEVEL

1/8" = 1'-0"

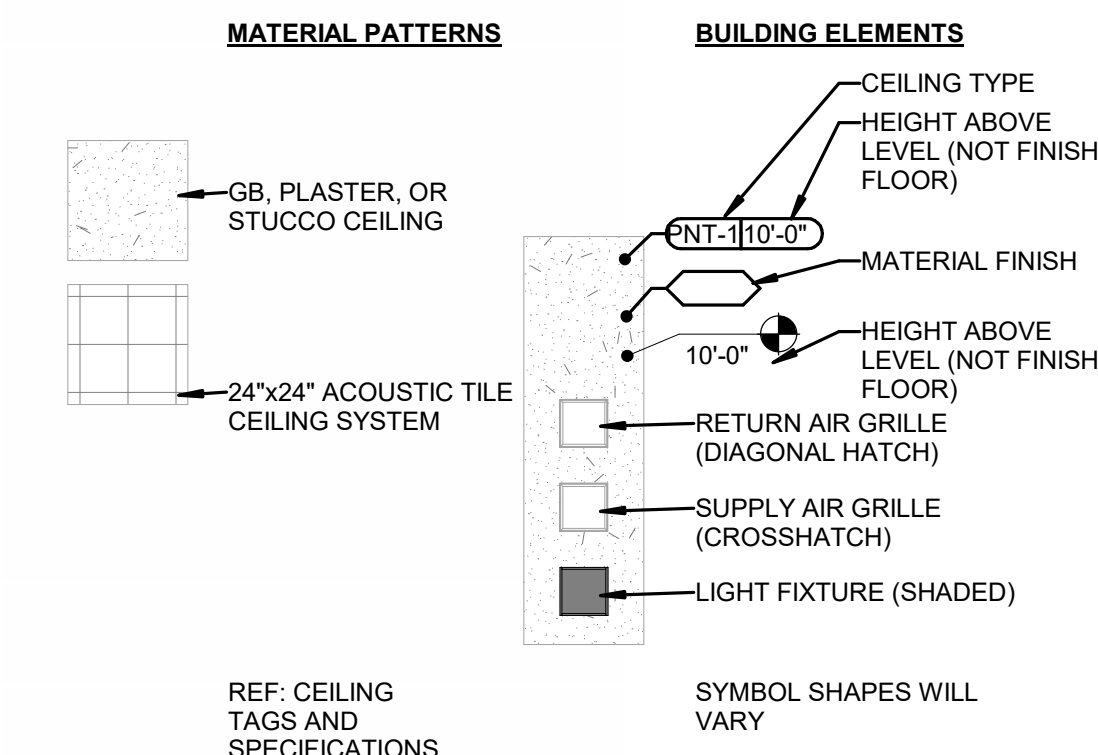


D5 J1 FIXTURE UNDER STAIRCASE
*3D VIEW FOR REFERENCE ONLY *

REFLECTED CEILING PLAN GENERAL NOTES

1. SEE SHEET A-001 FOR WALL TYPES AND HEIGHT OF WALLS ABOVE CEILING.
2. SEE FINISH SCHEDULE FOR CEILING TYPES AND MATERIALS IN EACH ROOM/ AREA.
3. DIMENSIONS ARE FACE TO STUD, UNO.
4. CEILING GRID/TILES TO BE CENTERED IN ALL ROOMS UNLESS NOTED OTHERWISE. PARTIAL TILES AT ROOM PERIMETERS SHALL NOT BE LESS THAN 6" IN EITHER DIMENSION.
5. ALL CEILINGS TO BE 8'-0" AFF. UNO. CEILING HEIGHTS SHOWN ON THE REFLECTED CEILING PLANS ARE NON-TYPICAL AND SPECIFIC TO THE AREA INDICATED. REFER TO INTERIOR ELEVATIONS FOR THE HEIGHTS OF SOFFITS ABOVE CASEWORK.
6. SEE ELECTRICAL, FIRE ALARM AND FIRE PROTECTION DRAWINGS FOR SPECIAL SYSTEMS, SMOKE DETECTORS, LIGHTING AND WALL MOUNTED FIXTURES NOT SHOWN ON THIS SHEET. COORDINATE LOCATIONS OF ALL FIXTURES NOT INDICATED WITH LAYOUT INDICATED ON THIS SHEET.
7. LIGHT FIXTURES AND MECHANICAL DIFFUSERS ARE SHOWN FOR POSITIONING IN FINISH CEILING SYSTEM. COORDINATE WITH MECHANICAL AND ELECTRICAL DRAWINGS FOR FIXTURE TYPES, MECHANICAL DIFFUSERS, WALL MOUNTED FIXTURES AND INSTALLATION OF FIXTURES IN SPACES WITHOUT CEILINGS. (LIGHTING AND HVAC DIFFUSERS ARE SHOWN FOR COORDINATION ONLY - SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR SPECIFIC INFORMATION).
8. SEE MECHANICAL FLOOR PLANS FOR EXTENT OF EXPOSED DUCTWORK IN EXPOSED STRUCTURE AREAS WITHOUT CEILINGS.
9. EXTEND PERIMETER WALLS AND FINISH TO STRUCTURE ABOVE AT EXPOSED STRUCTURE AREAS. PAINT ALL EXPOSED DUCTWORK, PIPING, HANGERS, ETC.
10. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR MOUNTING LOCATIONS OF ITEMS WHERE NO CEILING IS INDICATED.
11. CENTER LIGHTS, DIFFUSERS, EXIT SIGNS, SMOKE DETECTORS, SPRINKLER HEADS, SPEAKERS, FIRE ALARM HORNS/STROBES & MISC DEVICES IN CEILING TILES WHERE THEY ARE LOCATED. ALIGN MULTIPLE ITEM CENTER OR EDGES.
12. LOCATE MECHANICAL GRILLES AND DIFFUSERS SHOWN IN CORNERS OR NEAR WALL TO 12" OFF WALLS, UNO.
13. INSTALL ACCESS PANELS IN GYPSUM BOARD CEILINGS AT DUCT DAMPER CONTROLS, DUCT MOUNTED SMOKE DETECTORS, MANUAL DUCT CONTROLS, ETC.
14. ALL SINGLE LIGHT FIXTURES SHALL BE CENTERED IN THE CEILING WITHIN THEY OCCUR.
15. LOCATE SPRINKLER HEADS IN THE CENTER ZONE OF THE CEILING TILE. ALIGN CORRIDOR SPRINKLER HEADS IN THE SAME LINE PARALLEL TO THE WALL WITHIN EACH SPECIFIC CEILING CONSTRUCTION.
16. SPRINKLER HEADS, OTHER THAN CONCEALED, SHALL BE FULLY RECESSED (CENTER IN CEILING TILE).
17. ALL GNB CEILINGS TO RECEIVE CONCEALED SPRINKLER HEADS.
18. CEILING ACCESS PANEL - BASIS OF DESIGN: BAUCO XL FLUSH FINISH ACCESS PANEL AS MANUFACTURED BY BAUCO ACCESS PANEL SOLUTIONS, INC. PROVIDE WITH CONCEALED MECHANICAL TOUCH LATCH. PROVIDE REQUIRED FRAMING FOR INSTALL. DOOR SIZE 48" x 48" (DOUBLE DOOR SYSTEM). PAINT TO MATCH ADJACENT CEILING. INSTALL PER MANUFACTURER'S INSTRUCTIONS. COORDINATE BEFORE FRAMING THE EXACT LOCATIONS WITH MECHANICAL SUBCONTRACTOR.
19. FOR CEILING DETAILS RELATED TO SEISMIC COMPLIANCE, REFER TO SHEET A751.

RCP LEGEND



RCP NOTES BY NUMBER

| | |
|---|--|
| 1 | EXISTING SOFFIT TO REMAIN. |
| 2 | PROVIDE 48" WIDE CEILING INSULATION BATT AT PERIMETER OF ROOM. |

LIGHT FIXTURE LEGEND

| | DESCRIPTION | MODEL |
|----|--|---|
| A1 | 2X4 RECESSED LED TROFFER | HE WILLIAMS ; BP-24-LS-8-CS-DIM-UNV |
| A2 | 2X2 RECESSED LED TROFFER | HE WILLIAMS ; BP-22-LS-8-CS-DIM-UNV |
| B1 | RECESSED LED DOWNLIGHT | HE WILLIAMS ; 4DRTL-L815-835-DIM-UNV SERIES |
| B2 | RECESSED LED DOWNLIGHT | HE WILLIAMS ; 4DRTL-L820-835-DIM-UNV SERIES |
| C1 | COVE LED LIGHTING | SSL ; MC-X-35K-CR180-60 SERIES |
| D1 | SUSPENDED LED LINEAR | FINELITE ; HP2-P-D-(AS SHOWN ON PLANS) 835-F-96LG-XX-DC-SC-1-FA50-XX-FE-xx |
| E1 | SUSPENDED LED LINEAR | FINELITE ; HP2-P-D-(AS SHOWN ON PLANS)-F-96LG-XX-DC-SC-1-FA50-XX-FE-xx-CUSTOM COLOR PANTONE: 7740 |
| F1 | VERTICAL LED PENDANT | LUMOS ; LC6-VER-48-HO-835-DIM-AC10-XX-XX-RMT-DNL4MCLR |
| G1 | RECESSED LED LINEAR | LEDALITE ; 23-0-L-935-L-N-30-S-1-12-6"-D-E-I-N-XX |
| H1 | LED CYLINDRICAL PENDANTS | DC4-C2-S-S-D-15-FL-0-00-00-35-BK-0-00-H |
| I1 | CAGE/SHATTER RESISTANCE LINEAR PENDANT | HE WILLIAMS ; AVX-4-L36-8-35-WPC-DIM1-UNV |
| J1 | RECESSED WALL LED LINEAR | FINELITE ; HIGH PERFORMANCE 4" APERTURE (HP-4) RECESSED ; USE REMOTE DRIVERS - 24 VOLT. |
| K1 | RECESSED DISPLAY LIGHTING | 3G LIGHTING ; 3 LIGHT MINI MADISON 3G-RC3M5 |
| L1 | DOWN LIGHT | SCOTT LIGHTING ; S9040-L12 |
| EX | EXIT SIGN | SEE ENGINEER SPEC. |

REP CONTACT: MARCIA FOWLER ; MFOWLER@SESCOLIGHTING.COM ; (404) 520-2047

1. BASIS OF DESIGN (BOD) MANUFACTURERS AND PRODUCTS ARE NOTED ON THE FINISH SCHEDULE. REFER TO THE FINISH SCHEDULE FOR OTHER APPROVED MANUFACTURERS.
2. PRIOR APPROVALS MUST BE SENT TO ARCHITECT INCLUDING PERFORMANCE DATA AND PHYSICAL SAMPLE OF AREAS WHERE ALTERNATE FINISH IS PROPOSED.
3. REFER TO SECTION 01 23 00 SUBSTITUTION PROCEDURES FOR REQUIREMENTS FOR ALTERNATE PRODUCT/MANUFACTURER APPROVAL.



Spartanburg Community College



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Terhune Ground Floor and First Floor Bookstore Renovations H59-6288-JM

DELIVERY ORDER PROJECT NUMBER: H59-6288-JM

Spartanburg Community College
107 Community College Drive
Spartanburg, South Carolina 29303

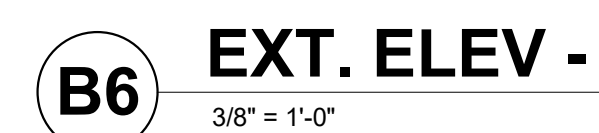
LSP PROJECT: 3202-240135

SHEET NAME:
REFLECTED CEILING PLAN - GROUND LEVEL

ORIG SUBMISSION: 2025.06.20

SHEET:
A-130

ISSUED FOR CONSTRUCTION



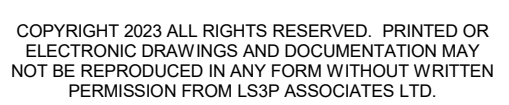
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SHEET: **A-300**

ISSUED FOR CONSTRUCTION

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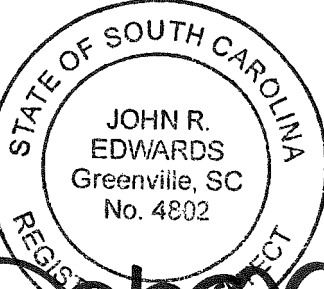


| TAG | DESCRIPTION | MANUFACTURER | MODEL | COMMENTS |
|-------|-----------------------------------|----------------|--|---|
| CL | CELSIUS LIVE VENDING MACHINE | - | - | EXISTING - OWNER PROVIDED |
| CP1 | COUNTER COPY/PRINTER | - | - | EXISTING - OWNER PROVIDED |
| CP2 | FULL COPY/PRINTER | - | - | EXISTING - OWNER PROVIDED |
| DW | DISHWASHER | GE | GDT26SSLS | |
| EDB | EVIDENCE DROP BOX | DURABOX | D700 | ADJUSTABLE THROUGH-WALL DROP BOX ; COLOR: LIGHT GREY |
| EL | EVIDENCE LOCKER | SCHOOL LOCKERS | SL-1802AB | |
| FC | FILE CABINET | - | - | EXISTING - OWNER PROVIDED |
| FEC | FIRE EXTINGUISHER CABINET | - | - | |
| GS | GUN SAFE | - | - | EXISTING - OWNER PROVIDED |
| ICE | UNDERCOUNTER ICE MAKER | - | - | EXISTING - OWNER PROVIDED |
| MW | MICROWAVE | - | - | EXISTING - OWNER PROVIDED |
| PF | PEPSI FRIDGE VENDING MACHINE | - | - | EXISTING - OWNER PROVIDED |
| RC | REFRIGERATION, COOLER (3 DOOR) | AVANTCO | GDC-69-HC 78 14" | BLACK CUSTOMIZABLE SWING GLASS DOR MERCHANDISER REFRIDGERATOR WITH LED LIGHTING |
| REF 1 | REFRIDGERATOR | GE | GWE19JLFS | |
| REF 2 | UNDER COUNTER REFRIDGERATOR | SUMMIT | AL54CSSLHD | |
| SH1 | SHELVING | - | - | EXISTING - OWNER PROVIDED |
| SH2 | CABINET- FULL HEIGHT- 2 DOOR (2X) | TOOLCAT | ITEM #6549065 - MODEL #HGG30-16-DSG | METAL HEAVY DUTY 5-TIER UTILITY SHELVING UNIT |
| SH3 | SHELVING | EFINE | ITEM #5389715 - MODEL #RL100-5 | STEEL HEAVY DUTY 5-TIER UTILITY SHELVING UNIT |



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**Terhune Ground Floor and First Floor
Bookstore Renovations H59-6288-JM**

DELIVERY ORDER PROJECT NUMBER: H59.6288-JM

Spartanburg Community College
107 Community College Drive,
Spartanburg, South Carolina 29303

LS3P PROJECT: 3202-240135

[illegible]

SHEET NAME:
EQUIPMENT PLAN -
LEVEL 1

ORIG 2025.06.20
SUBMISSION:

SHEET: **A-301**

ISSUED FOR CONSTRUCTION



| RCP NOTES BY NUMBER | |
|---------------------|--|
| NUMBER | NOTE |
| 1 | EXISTING SOFFIT TO REMAIN. |
| 2 | PROVIDE 48" WIDE CEILING INSULATION BATT AT PERIMETER OF ROOM. |



MATERIAL PATTERNS

- GB PLASTER, OR STUCCO CEILING
- 24"x24" ACOUSTIC TILE CEILING SYSTEM
- 24"x48" ACOUSTIC TILE CEILING SYSTEM

REF: CEILING TAGS AND SPECIFICATIONS

BUILDING ELEMENTS

- CEILING TYPE
- HEIGHT ABOVE LEVEL (NOT FINIS FLOOR)
- FNT-110'-0"
- MATERIAL FINISH
- 10'-0"
- HEIGHT ABOVE LEVEL (NOT FINIS FLOOR)
- RETURN AIR GRILLE (DIAGONAL HATCH)
- SUPPLY AIR GRILLE (CROSSHATCH)
- LIGHT FIXTURE (SHADED)
- SYMBOL SHAPES WILL VARY

| # | DEMOLITION RCP NOTES BY NUMBER |
|--------|--|
| NUMBER | NOTE |
| 1 | EXISTING GWB SOFFIT TO REMAIN |
| 2 | CEILING-MOUNTED DIGITAL CLOCKS TO REMAIN. REMOVE DURING CONSTRUCTION AND REINSTALL FOR NEW WORK. |
| 3 | REMOVE EXISTING PROJECTOR AND PROJECTOR SCREEN. COORDINATE WITH OWNER REGARDING SALVAGE. |
| 4 | REMOVE EXISTING ARTICHOKE LIGHT FIXTURES. COORDINATE WITH OWNER REGARDING SALVAGE. |

E

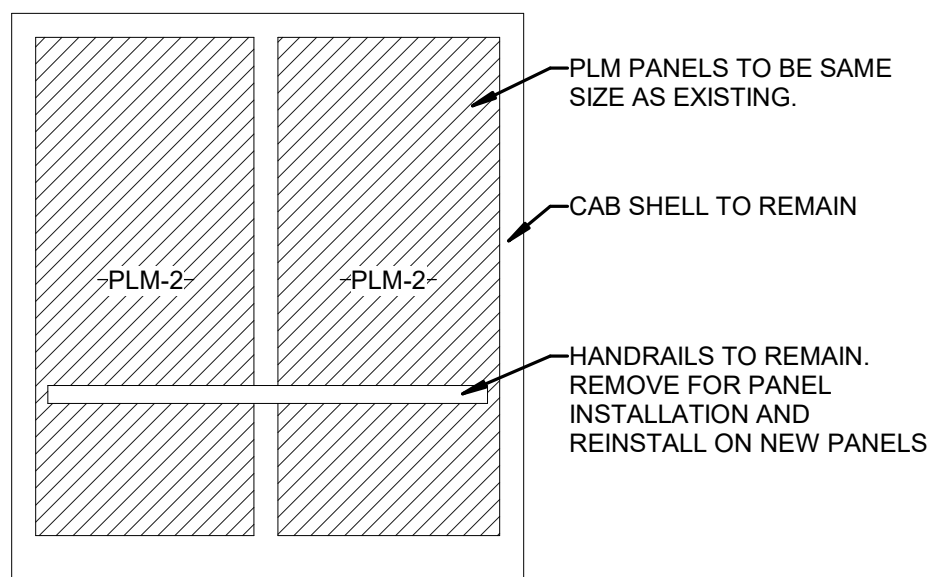
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C

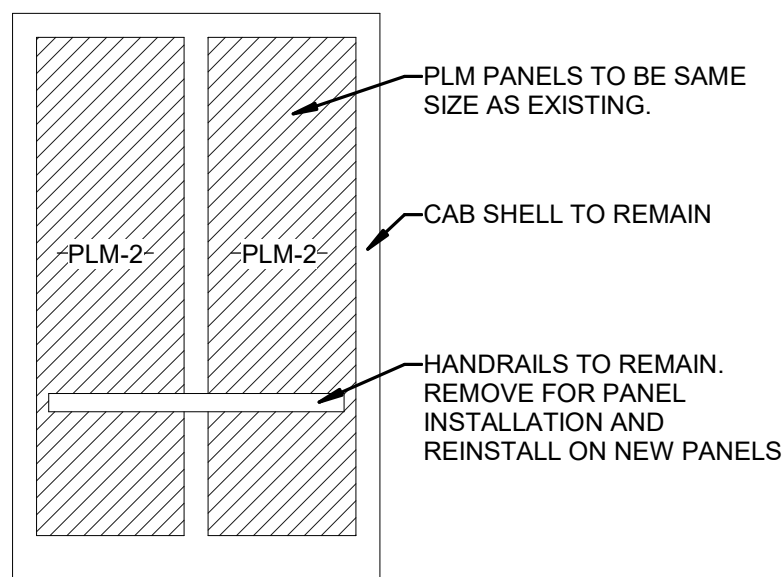
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A

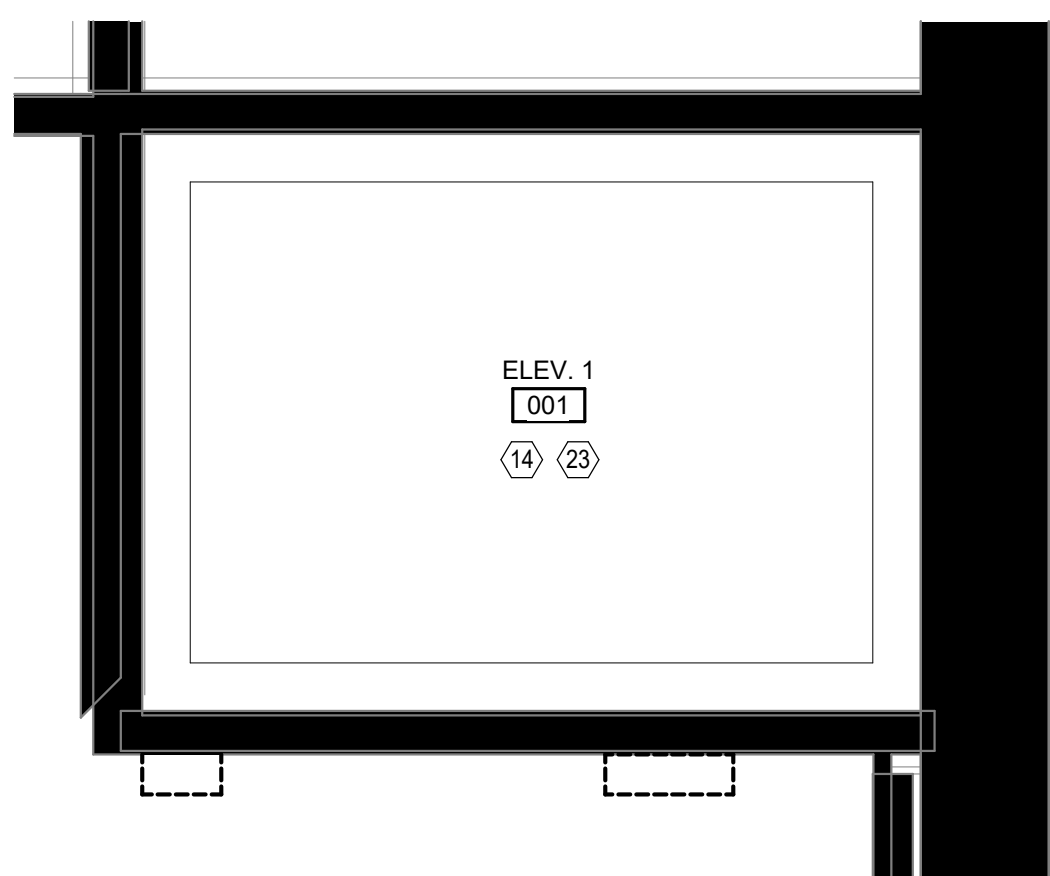
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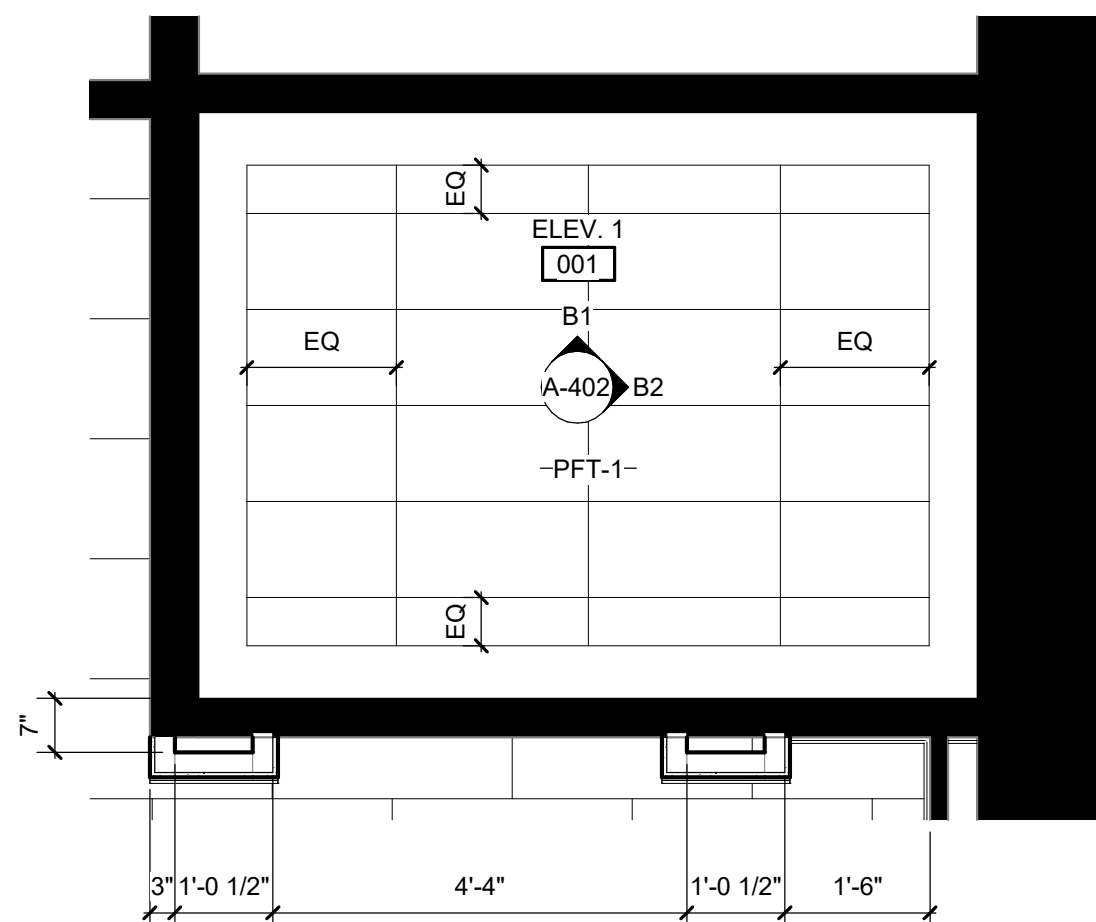
B1 TYP. ELEV. CAB - REAR ELEV.
3/8" = 1'-0"

$$3/8" = 1'-0"$$


B2 TYP. ELEV. CAB - SIDE ELEV.
3/8" = 1'-0"

$$3/8'' = 1'-0''$$


A1 **TYP. ELEV CAB ENLARGED DEMOLITION PLAN**
1/2" = 1'-0"

$$1/2'' = 1'-0''$$


A3 **TYP. ELEV CAB ENLARGED FINISH PLAN**
1/2" = 1'-0"

$$1/2'' = 1'-0''$$

DEMOLITION PLAN GENERAL NOTES

1. NUMBERED KEY NOTES DO NOT IMPLY SEQUENCE. CONTRACTOR TO PERFORM DEMOLITION WORK AS REQUIRED PER WORK SEQUENCE.
2. DEMOLITION DRAWINGS SHALL BE USED TO IDENTIFY ALL AREAS OF DEMOLITION AS WELL AS GENERAL EXISTING CONDITIONS. THEY DO NOT SHOW ALL WORK WHICH MAY BE NECESSARY. COMPARE WITH DRAWINGS INDICATING EXISTING CONDITIONS.
3. REFER TO OTHER DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION ON DEMOLITION. REFER TO MECHANICAL, ELECTRICAL, PLUMBING AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
4. EXISTING WORK TO REMAIN SHALL BE TEMPORARILY SECURED, BRACED, STABILIZED AND PROTECTED UNTIL PERMANENT CONSTRUCTION IS IN PLACE.
5. THE CONTRACTOR SHALL CONSULT WITH THE ARCHITECT AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
6. VERIFY THAT CONSTRUCTION INDICATED FOR REMOVAL IS NOT LOAD BEARING OR OTHERWISE NECESSARY TO THE STRUCTURAL DRAWINGS PRIOR TO STARTING ANY WORK.
7. ERECT BARRICADES, FENCES OR OTHER SECURABLE MEANS TO PREVENT UNAUTHORIZED ACCESS INTO CONSTRUCTION ZONES.
8. DO NOT ALLOW MATERIAL AND DEBRIS GENERATED BY DEMOLITION ACTIVITIES TO REMAIN IN THE WORK AREA. REMOVE DUMP AND DISPOSAL IN A LEGAL MANNER.
9. ON-SITE SALE OR BURNING OF REMOVED ITEMS IS PERMITTED. THE CONTRACTOR MUST MAINTAIN ADEQUATE SECURITY, INSULATION FOR CONTAMINATED MATERIALS, FIRE PROTECTION, SECURITY, ALARMS, ETC. FOR ALL OR PART OF ITEMS WHICH ARE TO REMAIN.
10. TERMINATE AND CAP UTILITIES IN WALLS, CEILINGS, AND FLOORS, NOTED TO BE REMOVED AND NOTED TO REMAIN.
11. PREPARE AND PATCH SURFACES THAT ARE TO RECEIVE NEW FINISHES REQUIRED AFTER REMOVING OR RELOCATING DEVICES, WIRING OR OTHER MECHANICAL DEVICES.
12. MAINTAIN EXISTING FINISHES, OPERATIONAL CHARACTERISTICS, AND APPEARANCE OF ITEMS SCHEDULED TO REMAIN OR BE REUSED.
13. REPAIR OR PATCH SURFACES AS NOTED IN SECTION 05 11 00, CHAPTER 33.
14. EGRESS SHALL BE MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION.
15. REFER TO PARTITIONS, DOORS, AND FRAMES SHALL REMAIN UNLESS NOTED OTHERWISE.
16. LIFE SAFETY DEVICES MAY BE RELOCATED.
17. REFER TO SHEETS 6-004 AND 6-005 FOR INFORMATION PERTAINING TO PARTITIONS.

| # | DEMOLITION NOTES BY # |
|--------|---|
| NUMBER | NOTE |
| 1 | DEMOLISH EXISTING INTERIOR PARTITIONS & FURNINGS. PATCH AND REPAIR ADJACENT REMAINING WALLS AS REQUIRED |
| 2 | DEMOLISH EXISTING DOORS, FRAME AND ANY SIDELIGHTS. COORDINATE WITH OWNER REGARDING SALVAGE. |
| 3 | REMOVE EXISTING DRINKING FOUNTAINS. COORDINATE WITH OWNER REGARDING SALVAGE. PREP AND PREPARE FOR NEW HI-LO DRINKING FOUNTAINS. |
| 4 | DEMOLISH EXISTING STOREFRONT DOORS, FRAME AND ANY SIDELIGHTS. DEMOLISH EXISTING MILLWORK. PATCH AND REPAIR ADJACENT WALLS AS REQUIRED. |
| 5 | DEMOLISH EXISTING DEMOUNTABLE PARTITION. PATCH AND REPAIR ADJACENT FINISHES. |
| 6 | EXISTING RECEPTION DESK MILLWORK TO BE REMOVED. PATCH AND REPAIR ADJACENT FINISHES AND PARTITIONS |
| 7 | DEMOLISH PORTION OF THE EXISTING WALL AND PREP FOR NEW DOOR. REFER TO FLOOR PLANS AND DOOR SCHEDULE. |
| 8 | DEMOLISH PORTION OF THE EXISTING WALL AND PREP FOR NEW OPENING. REFER TO FLOOR PLANS AND DOOR SCHEDULE. |
| 9 | EXISTING DOOR AND FRAME SHALL BE REMOVED AND REINSTALLED IN ROOM G10. SECURE THIS OPENING TO FLOOR SCHEDULE. |
| 10 | DEMOLISH EXISTING PLASTER. PREPARE FOR NEW CONCRETE SIDEWALK CONTROL JOINTS TO MATCH EXISTING |
| 11 | DEMOLISH PORTION OF THE EXISTING WALL AND PREPARE FOR NEW CLERESTORY HEIGHT WINDOWS. REFER TO FLOOR PLAN AND WINDOW SCHEDULE. PATCH AND REPAIR AS REQUIRED FOR NEW WALL FINISH. |
| 12 | DEMOLISH PORTION OF THE EXISTING WALL AND PREPARE FOR NEW STOREFRONT AND ENTRANCE. REFER TO FLOOR PLANS AND STOREFRONT ELEVATIONS. |
| 13 | PREP EXISTING WALL WITH FRAMING AT JAMBS AND HEADER FOR REUSE OF EXISTING FRAME AND GLASS. |
| 14 | DEMOLISH EXISTING WALL PANELS IN ELEVATOR CAB. PREP AND PREPARE FOR NEW FINISH. |
| 15 | EXISTING SPRINKLER PIPING TO REMAIN. |
| 16 | EXISTING FIRE PROTECTION PIPING AND VALVE TO REMAIN IN WALL. REMOVE EXISTING VALVE BOX AND PREP FOR NEW SMALLER BOX. |
| 17 | REMOVE EXISTING FIRE EXTINGUISHER AND CABINET. STORE FOR NEW LOCATION. PATCH AND REPAIR DRYWALL. |
| 18 | REMOVE EXISTING WALL PANELS IN ELEVATOR CAB. PREP AND REPAIR FOR NEW FINISH. |
| 19 | REMOVE EXISTING FINISHES - WALL, BASE, FLOORING. |
| 20 | EXISTING CUM RETAINING WALL AND FENCE RAILINGS TO REMAIN |
| 21 | REMOVE PIN HOLE SIGNAGE AND/OR FRAMES ON WALLS. COORDINATE WITH OWNER REGARDING SALVAGE. PATCH HOLES AND PREPARE FOR NEW FINISH |
| 22 | REMOVE EXISTING DRINKING FOUNTAINS. COORDINATE WITH OWNER REGARDING SALVAGE. PREP AND PREPARE FOR NEW HI-LO DRINKING FOUNTAINS. |
| 23 | DEMOLISH EXISTING TILE. SAND AND PREPARE FOR NEW FLOOR AND/OR WALL FINISH. |
| 24 | REMOVE SECTION OF EXISTING SIDEWALK. PREP FOR NEW SIDEWALK AT NEW ENTRY. |
| 25 | DEMOLISH EXISTING VERTICAL BLINDS. PATCH AND REPAIR ADJACENT FINISHES AND GYP. |
| 26 | DEMOLISH EXISTING WALL OFF MAT. PREP AND PREPARE FOR NEW. |
| 27 | SAW CUT EXISTING CONCRETE SIDEWALK. EXACT LOCATION T.B.D. |
| 28 | STAIR TREDS TO BE REMOVED. PREP FOR NEW STAIR TREDS. |
| 29 | EXISTING COLUMN COVER TO REMAIN. |
| 30 | REMOVE EXISTING WALL SCONCES. COORDINATE WITH OWNER REGARDING SALVAGE. |
| 31 | REMOVE EXISTING DOOR, FRAME, AND HARDWARE. INSTALL AT NEW WALL LOCATION. |
| 32 | REMOVE EXISTING TOILETS. PATCH AND REPAIR ADJACENT FINISH. REUSE PLUMBING CONNECTIONS WITH EXTENSIONS AND INSTALL NEW FIXTURES AT NEW LOCATIONS. COORDINATE WITH OWNER REGARDING SALVAGE. |
| 33 | DEMOLISH EXISTING PARTITIONS, URINAL, SCREEN, TOILET ACCESSORIES, AND MIRRORS. PATCH AND REPAIR ADJACENT FINISHES. |
| 34 | EXISTING FIRE EXTINGUISHER AND CABINET TO REMAIN. |

FLOOR PLAN GENERAL NOTES

1. INTERIOR DIMENSIONS INDICATED ARE FOR FACE OF STUD TO FACE OF STUD, U.N.O.
2. LOCATE DOOR OPENINGS "A" FROM THE NEAREST PERPENDICULAR WALL TO FLOOR AND SOUND RATED WALLS/PARTITIONS TO BE CONSTRUCTED TIGHT TO STRUCTURE, PIPING, DUCTWORK AND OTHER PENETRATIONS. ALL WORK IS TO BE COMPLETED WITHIN THE STRUCTURE.
3. WHERE PARTITIONS OF DIFFERENT FIRE RATINGS INTERSECT, THE HIGHEST RATED PARTITION SHALL CONTINUE THROUGH. MAINTAIN PARTITION FIRE RATING BEHIND RECEIPTABLES.
4. INSTALL BLOCKING IN PARTITIONS FOR CASEWORK, WALL MOUNTED EQUIPMENT, ETC. ALL RELATED CONSTRUCTION AS INDICATED IN THE SPECIFICATIONS.
5. COLOR OF FACE PLATE AND RECEIPTABLE TO BE SELECTED BY ARCHITECT.
6. IF FIRE SAFETY PLAN CALLS FOR REQUIRED FIRE SEPARATION WALLS ON G-004 & G-005.
7. SEE SHEET A-601 ABOVE DOOR TYPES.
8. SEE SHEET A-601 PART 7-003 FOR SCHEDULE.
9. SEE SHEETS A-761 THRU A-763 FOR INTERIOR DETAILS.
10. SEE SHEETS A-701 THRU A-705 FOR INTERIOR ELEVATIONS, ACCESSORY DESCRIPTIONS & A MOUNTING HEIGHT SCHEDULE.
11. SEE SHEETS A-800 & A-801 FOR FINISH FLOORING, TRANSITIONS AND, PATTERNS.
12. SEE SHEET A-720 & A-721 FOR FINISH SCHEDULE AND LEGEND.
13. PATCH AND REPAIR ALL EXISTING TO REMAIN DRYWALL PARTITIONS TO PROVIDE FOR THE ABOVE APPLICABLE REQUIREMENTS. DO NOT LIMITED TO ABANDONED LOW VOLTAGE RECEIPTABLE LOCATIONS.
14. SEE A-300 & A-301 FOR EQUIPMENT PLANS & SCHEDULE.
15. PROVIDE WORKING LIGHTS TO ALL AREAS TO BE COMPLETED AFTER HOURS AND ON WEEKENDS SO THAT THE ELEVATOR REMAINS OPERATIONAL. WORKING LIGHTS, BUT NOT NECESSARILY, TO BE COMPLETED.
16. CONTRACTOR SHALL COORDINATE WITH THE OWNER.



SPARTANBURG
Community College

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College

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**Terhune Ground Floor and First Floor
Bookstore Renovations H59-6288-JM**

DELIVERY ORDER PROJECT NUMBER: H59-6288~JM

Spartanburg Community College
107 Community College Drive,
Spartanburg, South Carolina 29303

LS3P PROJECT: 3202-240135

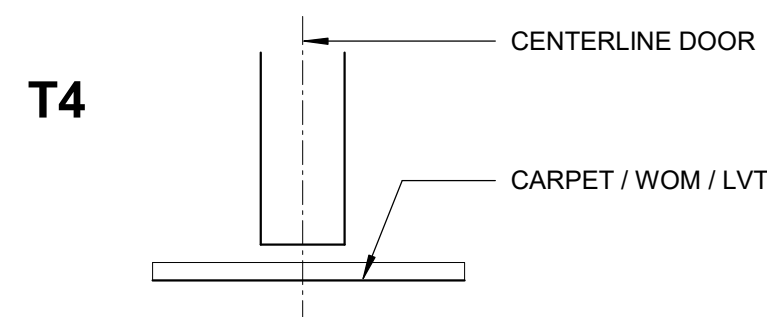
SHEET NAME:
**ENLARGED
ELEVATOR CAB
PLANS**

ORIG 2024.08.09
SUBMISSION:

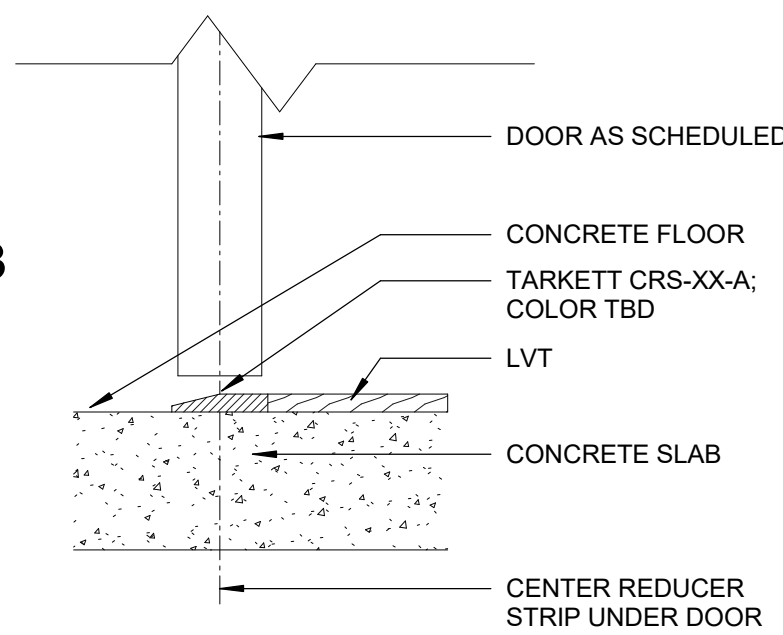
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A-402

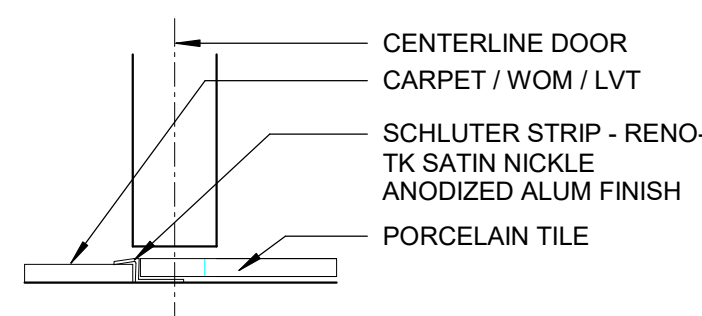
ISSUED FOR CONSTRUCTION

FD
$$3/8'' = 1'-0''$$


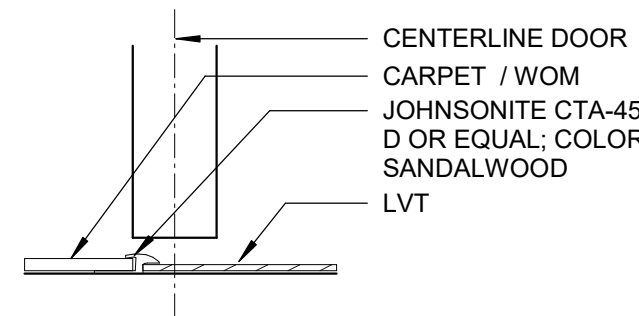
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T3

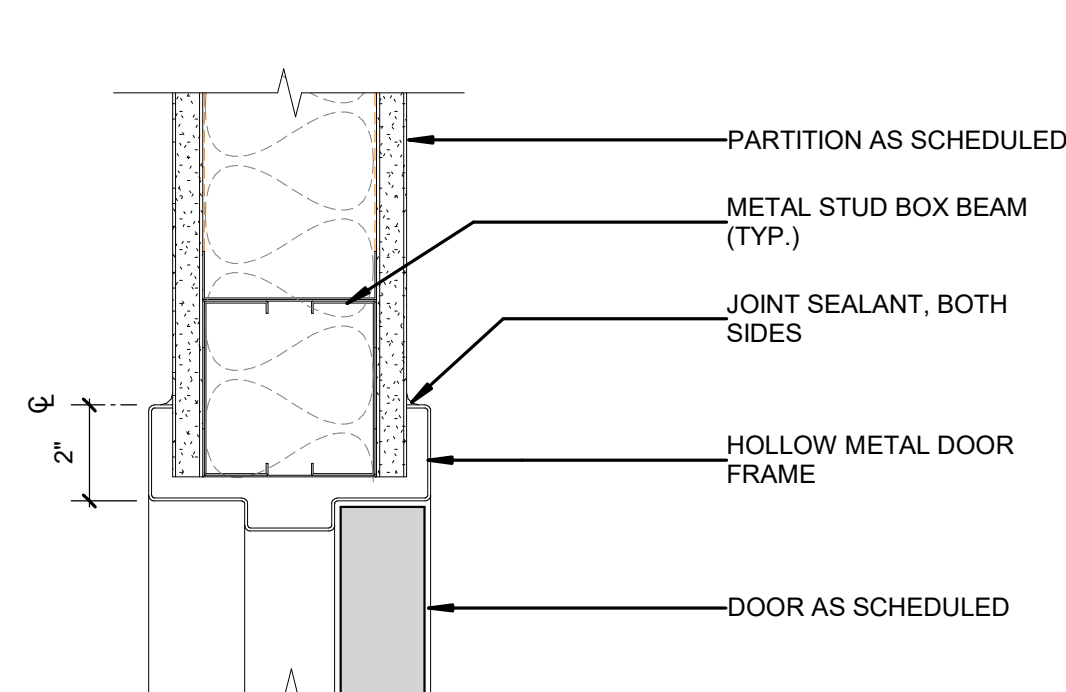


T2



T1

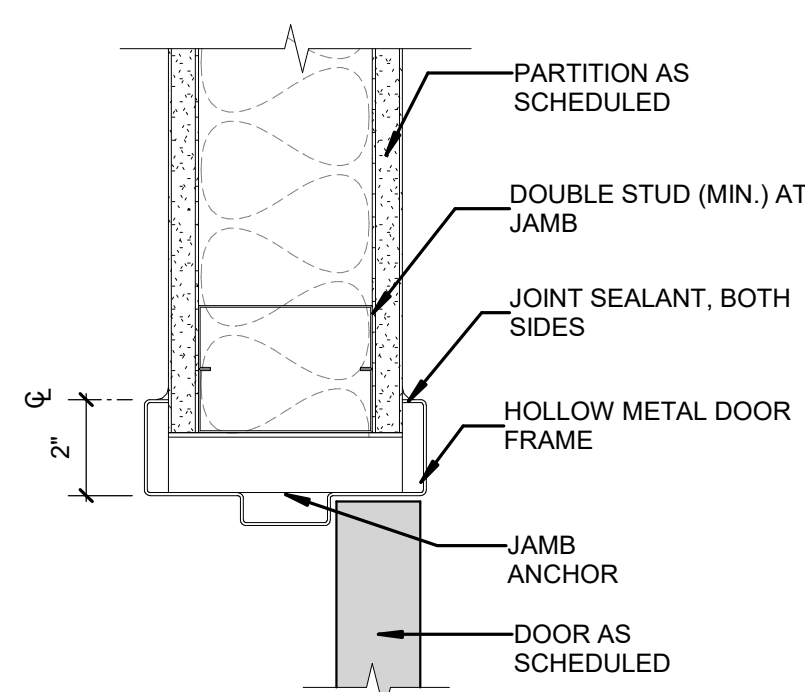
B6

$$3'' = 1'-0''$$


A1

3" = 1'-0"

1



A3

3" = 1'-0"

3" = 1'-0"

2

3

4

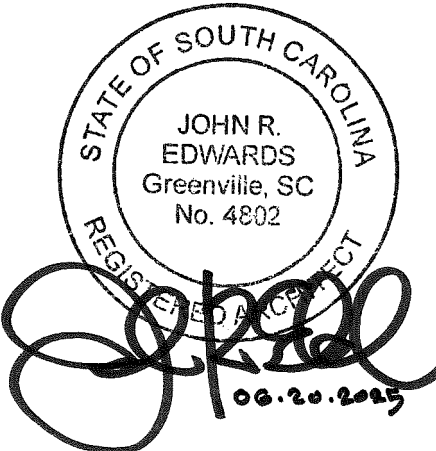
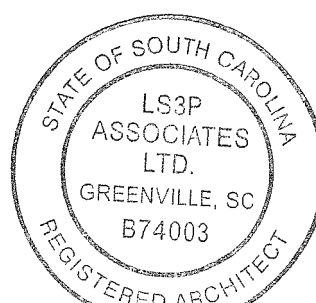
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6



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**Terhune Ground Floor and First Floor
Bookstore Renovations H59-6288-JM**

DEFINITION OF PROJECT NUMBER: H59.6288-IM

Spartanburg Community College
107 Community College Drive,
Spartanburg, South Carolina 29303

LS3P PROJECT: 3202-240135

SHEET NAME:
DOOR SCHEDULE
AND DETAILS

ORIG 2025.06.20
SUBMISSION:

SHEET:

A-601

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THE LINE SHOWN ABOVE IS EXACTLY

F





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8/23/2025 10:18:53 AM

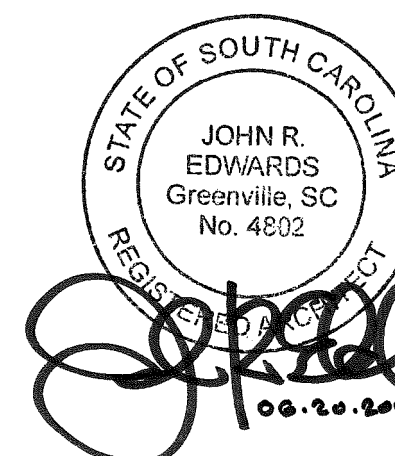
$$3/32'' = 1'-0''$$
$$3/32'' = 1'-0''$$

6

1. SEE SHEET A-613 FOR SIGNAGE ELEVATIONS. NOTE THAT THESE ARE GUIDELINES AND SIGNAGE CONSULTANT TO PROVIDE ACTUAL DRAWINGS AND DIMENSIONS.



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DELIVERY ORDER PROJECT NUMBER: H59.6288-1M

Spartanburg Community College
107 Community College Drive,
Spartanburg, South Carolina 29303

LS3P PROJECT: 3202-240135

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ORIG 2025.06.20
SUBMISSION:

SHEET:

A-612

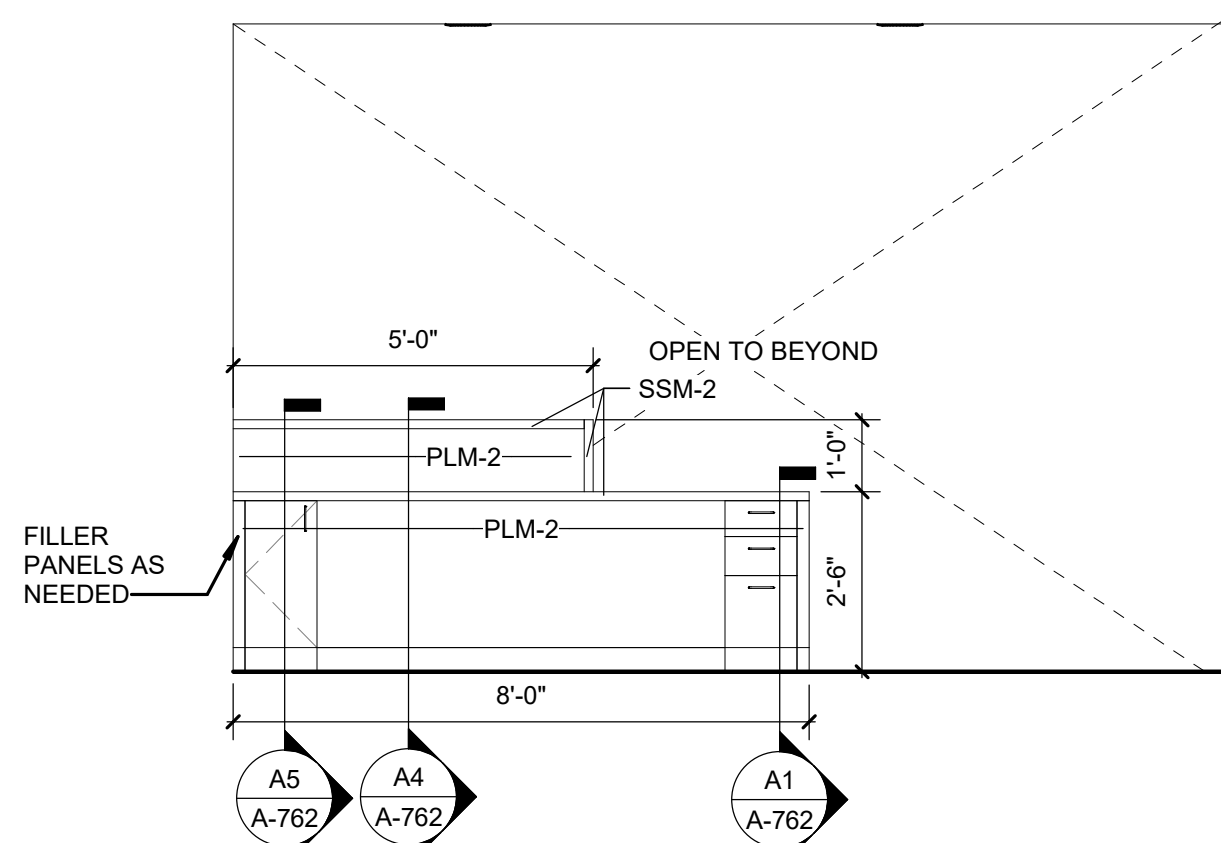
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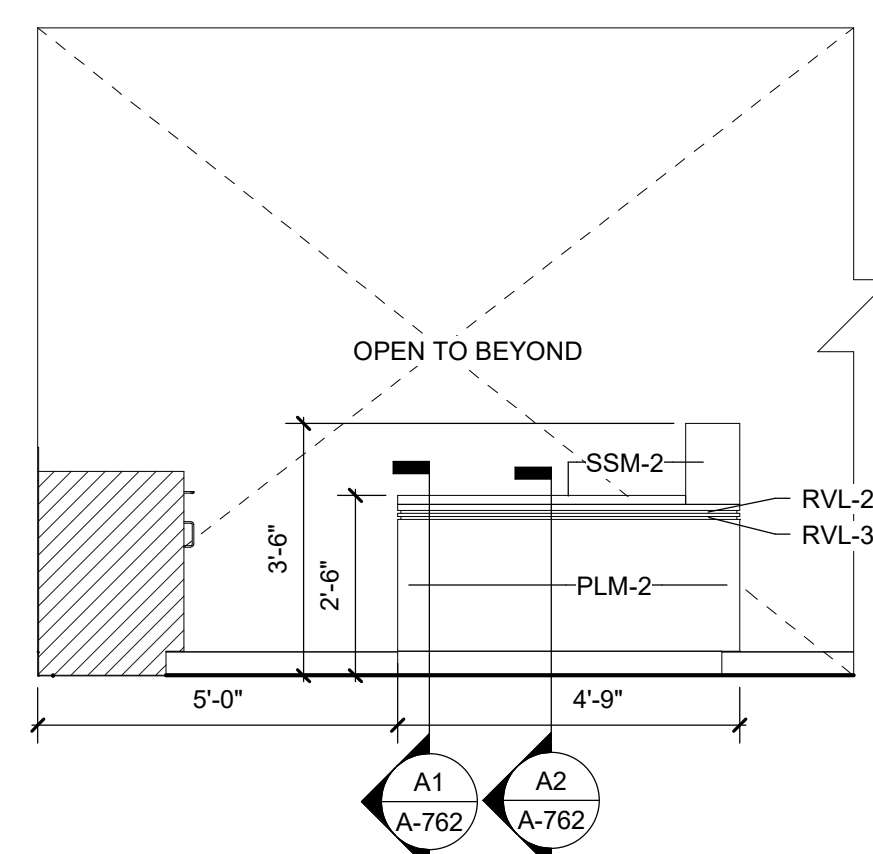
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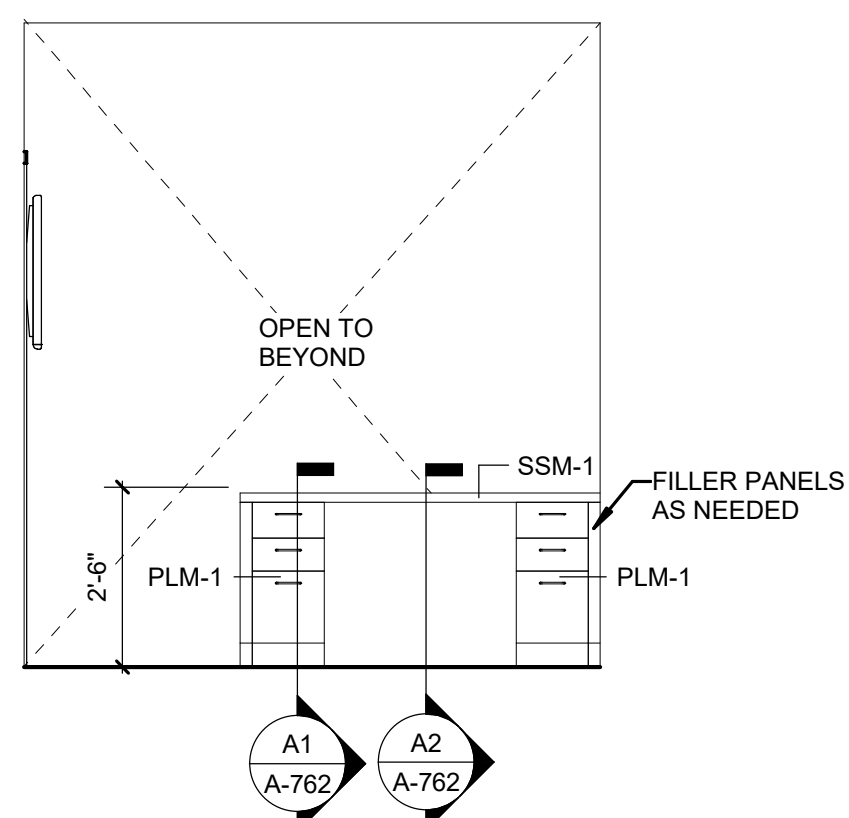
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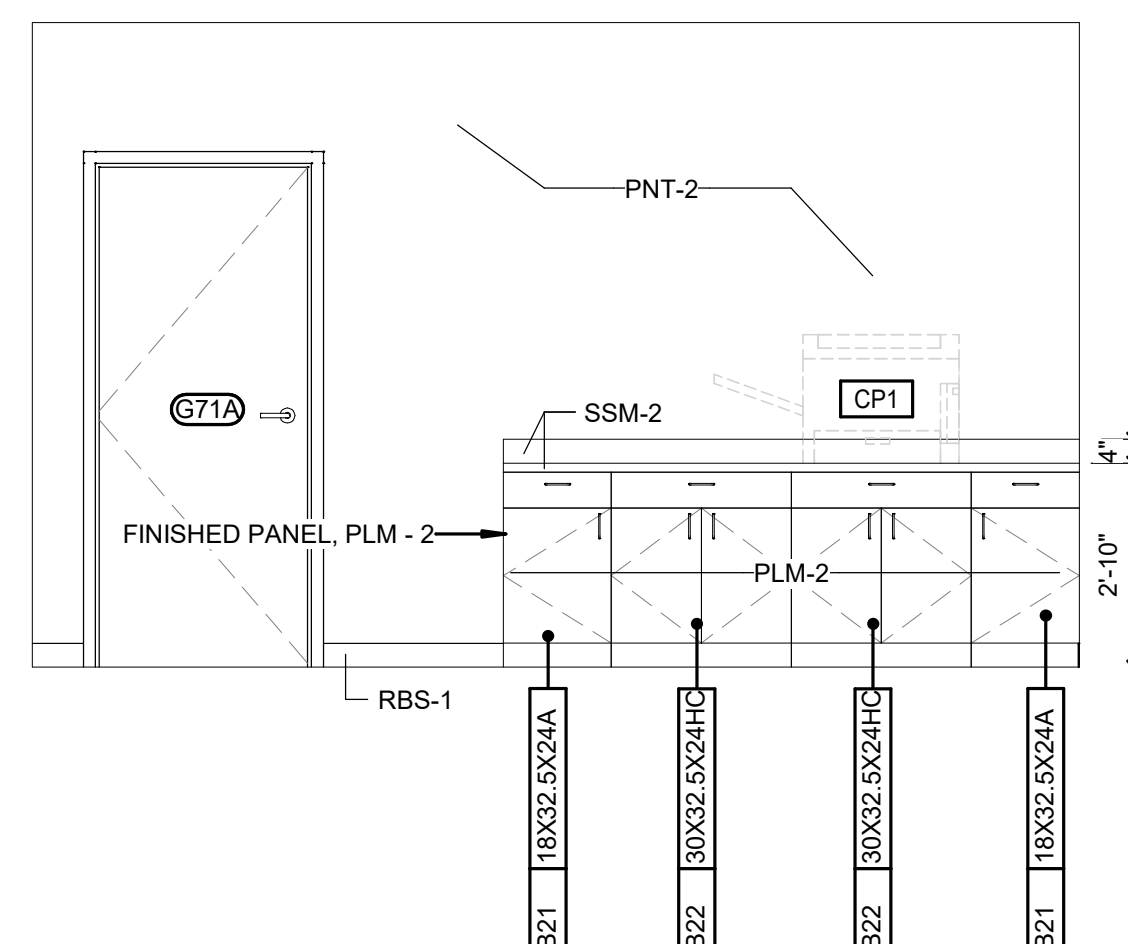
C2 ADMIN/LOBBY G91- NW
3/8" = 1'-0"



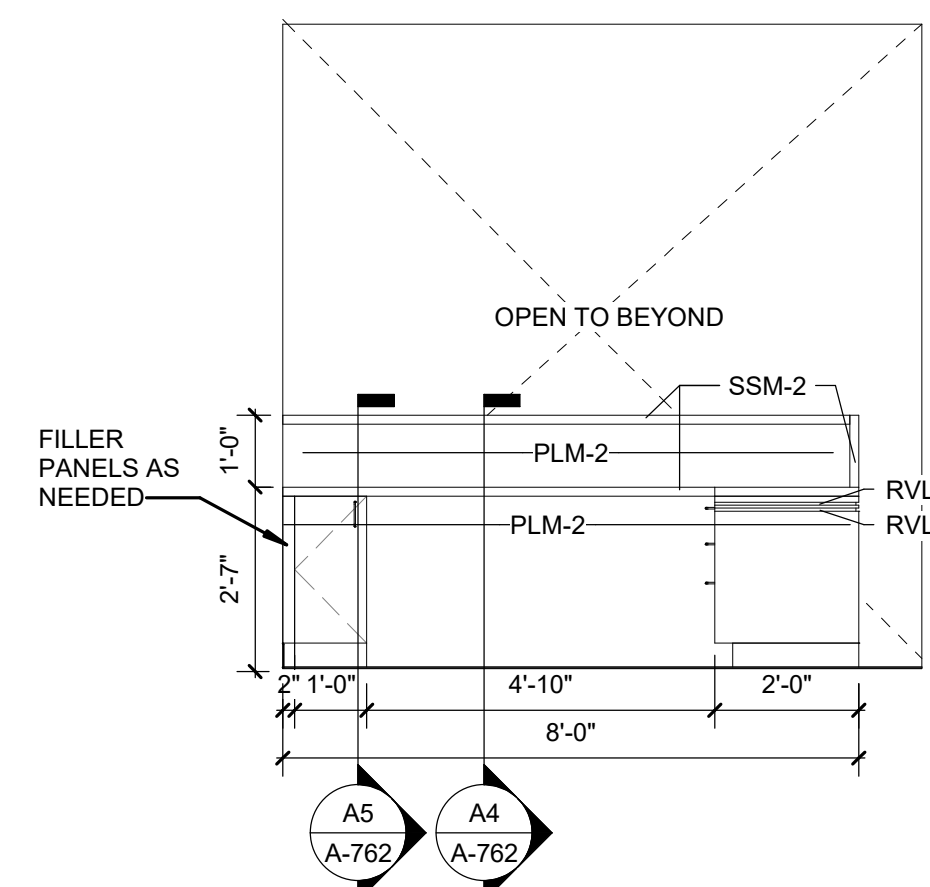
B4 ADMIN / LOBBY G70 - SE
3/8" = 1'-0"



A3 ADMIN WAITING G50 - W
3/8" = 1'-0"

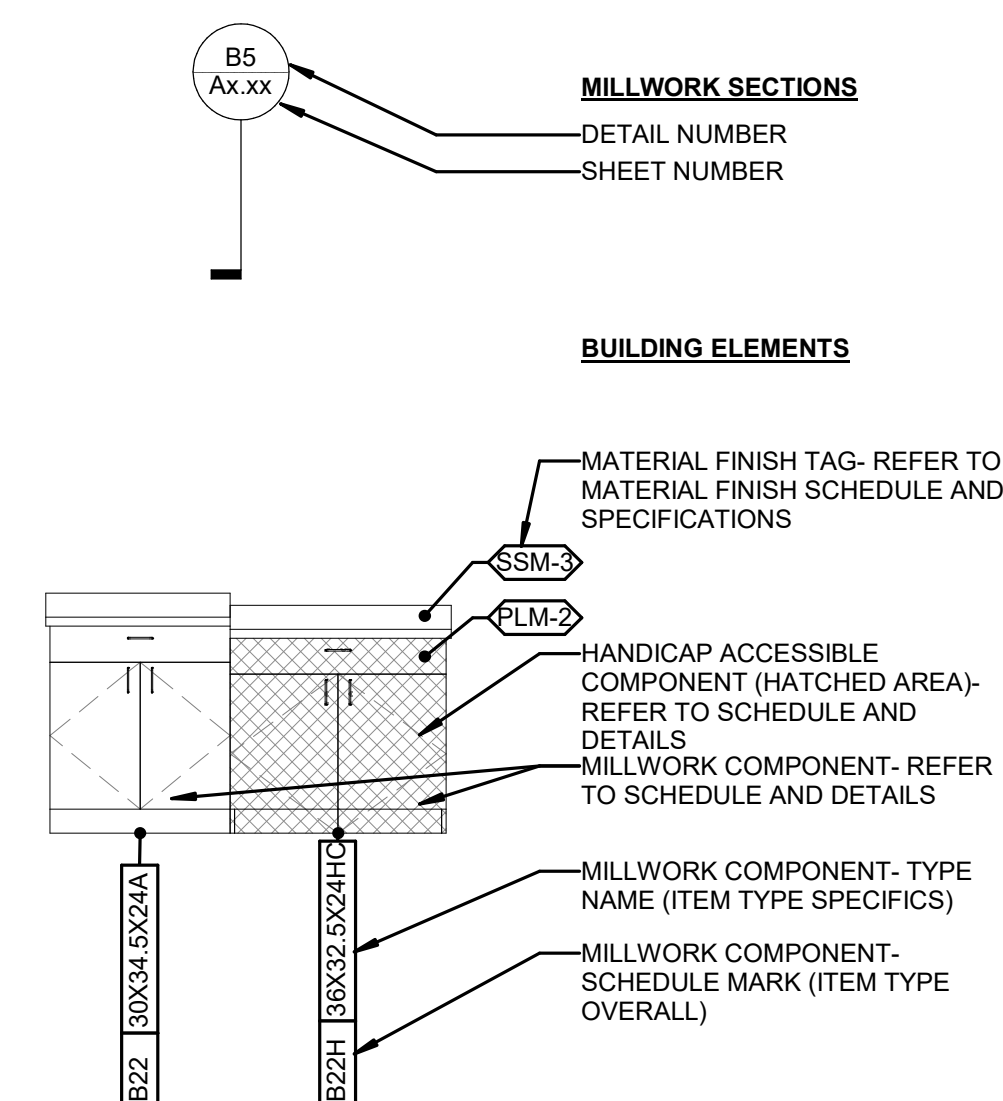


A4 ADMIN/LOBBY G70 - NE
3/8" = 1'-0"

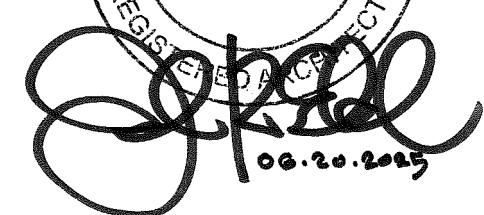


A5 ADMIN/LOBBY G70 - SW
3/8" = 1'-0"

MILLWORK SECTIONS
—DETAIL NUMBER
—SHEET NUMBER



1. LIGHT FIXTURES, AIR TERMINALS, GRILLES, ELECTRICAL FIXTURES, OUTLETS, DATA RECEPTACLES, AUDIO/VIDEO CONNECTIONS AND MEDICAL GAS FIXTURES SHOWN ARE FOR ARCHITECTURAL COORDINATION AND DIMENSIONAL CONTROL ONLY. REF: MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS AND SPECIFICATIONS.
2. NOT ALL FIXTURES MAY BE SHOWN ON ARCHITECTURAL ELEVATIONS



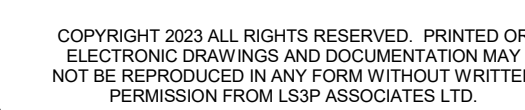
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ISSN 0013-788X

[illegible]

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6/23/2025 10:17:09 AM



LS3P PROJECT: 3202-240135

[illegible]

SHEET NAME:
INTERIOR
ELEVATIONS

ORIG SUBMISSION: 2025.06.20

SHEET:

A-704

ISSUED FOR CONSTRUCTION



| TAG | DESCRIPTION | MANUFACTURER | MODEL | REMARKS |
|-----|-------------------------------|----------------------|--------|--|
| | FAUCET, GOOSENECK, AUTOSENSOR | | | |
| CH | COAT HOOK | BOBRICK | B-7671 | - |
| GB2 | GRAB BAR- HORIZONTAL- 36" | MATCH STANDARD | - | - |
| GB3 | GRAB BAR- HORIZONTAL- 42" | MATCH STANDARD | - | - |
| GB5 | GRAB BAR- VERTICAL- 18" | MATCH STANDARD | - | - |
| MI1 | GLASS MIRROR UNIT, 24" x 48" | - | - | - |
| MI2 | GLASS MIRROR UNIT, 36" x 72" | - | - | FRAMELESS MIRROR PLATE BLACK FRAME |
| PD | PAPER TOWEL DISPENSER | PROVIDED BY SUPPLIER | - | - |
| SCD | SEAT COVER DISPENSER | PROVIDED BY SUPPLIER | - | - |
| SD | SOAP DISPENSER | PROVIDED BY SUPPLIER | - | - |
| SDU | SANITARY NAPKIN DISPOSAL | PROVIDED BY SUPPLIER | - | - |
| TFT | TOILET PARTITION | ASI | HDPE | CHARCOAL 9237 : SLIDES, STRIKES, KEYPERS AND LATCHES SHALL BE DIE-CAST ZAMAC TO RESIST CORROSION, AND SHALL BE THROUGH BOLTED WITH VANDAL RESISTANT BARREL NUTS AND SHOULDER SCREWS. PANELS SHALL BE THROUGH BOLTED WITH TAMPER RESISTANT BARREL NUTS AND SHOULDER SCREWS. |
| TT | TOILET TISSUE DISPENSER | PROVIDED BY SUPPLIER | - | - |
| US | URINAL SCREEN | ASI | HDPE | CHARCOAL 9237 : PANELS SHALL BE THROUGH BOLTED WITH TAMPER RESISTANT BARREL NUTS AND SHOULDER SCREWS. |
| WR | WASTE RECEPTACLE | PROVIDED BY SUPPLIER | - | - |

B1 INT. ELEV. - WOMENS RESTROOM - W
3/8" = 1'-0"

A1 INT. ELEV. - MENS RESTROOM - E

B3 INT. ELEV. - WOMENS RESTROOM - E

A3 INT. ELEV. - MENS RESTROOM - W
3/8" = 1'-0"

3D VIEW FOR REFERENCE ONLY

| ARCH- ROOM FINISHES | | | | | | |
|--|--------|------------------------------|-----------------|-----------------|---------------------|---|
| LEVEL | NUMBER | NAME | WALL | FINISH BASE | FLOOR | NOTES |
| GROUND LEVEL | | | | | | |
| GROUND LEVEL | 001 | ELEV. 1 | PLM-1 | -- | PTF-1 | REFACE EXISTING WALL PANELS WITH NEW PLAM AND FLOORING WITH SCHEDULED CARPET. REFER TO NOTE 1 BELOW |
| GROUND LEVEL | G16 | STORAGE | PNT-2 | RBS-1 | CSL-1 | |
| GROUND LEVEL | G17 | STORAGE | PNT-2 | RBS-1 | CSL-1 | |
| GROUND LEVEL | G20 | VESTIBULE | PNT-2 | -- | WOM-1 | |
| GROUND LEVEL | G21 | LOBBY | PTF-1, PNT-3 | WDB-1, RBS-1, 2 | PTF-1, CPT-3, WOM-1 | |
| GROUND LEVEL | G22 | STUDENT LOUNGE | WDB-1, PNT-3 | PTF-1, CPT-3 | DTF-1,CPT-3 | |
| GROUND LEVEL | G23 | STAIRWELL | MATCH EXIST. | RBS-1 | -- | |
| GROUND LEVEL | G24 | CORRIDOR | PNT-2 | RBS-1 | -- | |
| GROUND LEVEL | G31 | ADMIN DISPATCH | PNT-2 | RBS-1 | LVT-1 | |
| GROUND LEVEL | G31A | ADMIN. STORAGE | PNT-2 | RBS-1 | LVT-1 | |
| GROUND LEVEL | G32 | CORRIDOR | PNT-2 | RBS-1 | LVT-1,WOM-1 | |
| GROUND LEVEL | G33A | GENERAL STORAGE | PNT-2 | RBS-1 | LVT-1 | |
| GROUND LEVEL | G33B | EVIDENCE STOR | PNT-2 | RBS-1 | LVT-1 | |
| GROUND LEVEL | G34 | OFFICER WORKSTATIONS | PNT-2 | RBS-1 | LVT-1 | |
| GROUND LEVEL | G35 | INTERROGATION | PNT-2, 4 | RBS-1 | CPT-2 | |
| GROUND LEVEL | G36 | CHIEF | PNT-2, 4 | RBS-1 | CPT-1 | |
| GROUND LEVEL | G37 | LIEUTENANT | PNT-2, 4 | RBS-1 | CPT-1 | |
| GROUND LEVEL | G38 | NIGHT SHIFT OFFICER | PNT-2, 4 | RBS-1 | CPT-1 | |
| GROUND LEVEL | G40 | OPEN OFFICE | PNT-2 | RBS-1 | LVT-1 | |
| GROUND LEVEL | G41 | CORRIDOR | PNT-2 | RBS-1 | LVT-1 | |
| GROUND LEVEL | G42 | DIRECTOR | PNT-2, 4 | RBS-1 | CPT-1 | |
| GROUND LEVEL | G43 | COMPLIANCE & TITLE 9 | PNT-2, 4 | RBS-1 | CPT-1 | |
| GROUND LEVEL | G44 | ASSIST. DIR. OF CAREER SERV. | PNT-2, 4 | RBS-1 | CPT-1 | |
| GROUND LEVEL | G45 | CAREER CLOSET | PNT-2, 4 | RBS-1 | LVT-1 | |
| GROUND LEVEL | G46 | MEETING | PNT-2, 4 | RBS-1 | CPT-2 | |
| GROUND LEVEL | G47 | STAFF BREAK | PNT-2 | RBS-1 | LVT-1 | |
| GROUND LEVEL | G48 | OPEN OFFICE | PNT-2, 4 | RBS-1 | LVT-1 | |
| GROUND LEVEL | G50 | ADMIN. WAITING | PNT-2, 4 | RBS-1 | LVT-1 | |
| GROUND LEVEL | G51 | CORRIDOR | PNT-2 | RBS-1 | LVT-1 | |
| GROUND LEVEL | G52 | DEAN'S OFFICE | PNT-2, 4 | RBS-1 | CPT-1 | |
| GROUND LEVEL | G53 | FUTURE | PNT-2, 4 | RBS-1 | CPT-1 | |
| GROUND LEVEL | G54 | CORRIDOR | PNT-2, 4 | RBS-1 | LVT-1 | |
| GROUND LEVEL | G55 | COUNSELOR | PNT-2, 4 | RBS-1 | CPT-1 | |
| GROUND LEVEL | G56 | COUNSELOR | PNT-2, 4 | RBS-1 | CPT-1 | |
| GROUND LEVEL | G57 | DRY GOODS | PNT-2 | RBS-1 | LVT-1 | |
| GROUND LEVEL | G58 | FOOD PANTRY | PNT-2 | RBS-1 | LVT-1 | |
| GROUND LEVEL | G59 | COORDINATOR | PNT-2, 4 | RBS-1 | CPT-1 | |
| GROUND LEVEL | G60 | WOMEN'S | PNT-2, 4, CTW-1 | PTB-2 | PTF-2 | |
| GROUND LEVEL | G61 | MEN'S | PNT-2, 4, CTW-1 | PTB-2 | PTF-2 | |
| GROUND LEVEL | G70 | ADMIN / LOBBY | PNT-2 | RBS-1 | LVT-1 | |
| GROUND LEVEL | G71 | MEETING | PNT-2, 4 | RBS-1 | CPT-2 | |
| GROUND LEVEL | G72 | SUCCESS COACH | PNT-2, 4 | RBS-1 | CPT-1 | |
| GROUND LEVEL | G73 | SUCCESS COACH | PNT-2, 4 | RBS-1 | CPT-1 | |
| GROUND LEVEL | G74 | SUCCESS COACH | PNT-2, 4 | RBS-1 | CPT-1 | |
| GROUND LEVEL | G75 | DEAN OF STUDENT SUCCESS | PNT-2, 4 | RBS-1 | CPT-1 | |
| GROUND LEVEL | G76 | SUCCESS COACH | PNT-2, 4 | RBS-1 | CPT-1 | |
| GROUND LEVEL | G77 | SUCCESS COACH | PNT-2, 4 | RBS-1 | CPT-1 | |
| GROUND LEVEL | G78 | SUCCESS COACH | PNT-2, 4 | RBS-1 | CPT-1 | |
| GROUND LEVEL | G79 | CORRIDOR | PNT-2 | RBS-1 | LVT-1 | |
| GROUND LEVEL | G80 | OPEN OFFICE | PNT-2, 4 | RBS-1 | CPT-1 | |
| GROUND LEVEL | G81 | SUCCESS COACH COORDINATOR | PNT-2, 4 | RBS-1 | CPT-1 | |
| GROUND LEVEL | G90 | CORRIDOR | PNT-2 | RBS-1 | LVT-1 | |
| GROUND LEVEL | G91 | ADMIN / LOBBY | PNT-2 | RBS-1 | LVT-1 | |
| GROUND LEVEL | G92 | ADVISOR | PNT-2, 4 | RBS-1 | CPT-1 | |
| GROUND LEVEL | G93 | ADVISOR | PNT-2, 4 | RBS-1 | CPT-1 | |
| GROUND LEVEL | G94 | ADVISOR | PNT-2, 4 | RBS-1 | CPT-1 | |
| GROUND LEVEL | G96 | ADVISOR | PNT-2, 4 | RBS-1 | CPT-1 | |
| GROUND LEVEL | G97 | ADVISOR | PNT-2, 4 | RBS-1 | CPT-1 | |
| LEVEL 1 | | | | | | |
| LEVEL 1 | 101 | LOBBY | PNT-2,4 | WDB-1, RBS-2 | PTF-1,CPT-3, WOM-1 | |
| LEVEL 1 | 102 | BOOKSTORE | PNT-2,4 | RBS-1 | LVT-1 | |
| LEVEL 1 | 103 | ASSIST. MANAGER | PNT-2 | RBS-1 | CPT-1 | |
| LEVEL 1 | 104 | WORK ROOM | PNT-2,4 | RBS-1 | CPT-1 | |
| LEVEL 1 | 105 | MANAGER | PNT-2 | RBS-1 | CPT-1 | |
| LEVEL 1 | 106 | WELCOME / RECEPTION | -- | -- | -- | |
| LEVEL 1 | 107 | WOMEN'S | PNT-2, 4, CTW-1 | PTB-2 | PTF-2 | |
| LEVEL 1 | 108 | MEN'S | PNT-2, 4, CTW-1 | PTB-2 | PTF-2 | |
| 1. FINISH WORK IN THE ELEVATOR CAB MUST BE ACCOMPLISHED AFTER HOURS AND/OR ON WEEKENDS SO THAT THE ELEVATOR REMAINS OPERATIONAL DURING NORMAL BUSINESS HOURS UNTIL THE PROJECT IS COMPLETED. CONTRACTOR SHALL COORDINATE WITH THE OWNER. | | | | | | |

| CODE | DESCRIPTION | MANUFACTURER | PRODUCT NAME AND NUMBER | COLOR | SIZE | COMMENTS | Rep Contact | Fire Rating | OTHER ACCEPTABLE MANUFACTURERS |
|---------------------------------|-------------------------------------|-----------------|---|---|-----------------------------|---|--|---------------------------|--|
| DIVISION 5 METALS | | | | | | | | | |
| CHW-1 | CABINET HARDWARE | MOCKET | DP105C/4 | MATTE CHROME (26M) | 4 3/16"L | TYP. CASEWORK HARDWARE | -- | -- | |
| RVL-1 | MILLWORK REVEAL | FRY REGLET | MILLWORK U CHANEL | CUSTOM COLOR: PANTONE 2757 (RGB:31 42 93) | 1/2" | RECEPTION DESKS | DEREK SANDERSON ; DEREKSANDERSON@FRYREGLET.COM ; (773) 551-8749 | -- | https://www.trim-tex.com OR https://flannerytrim.com/ |
| RVL-2 | MILLWORK REVEAL | FRY REGLET | MILLWORK U CHANEL | CUSTOM COLOR: PANTONE 7740 (RGB:58 145 63) | 1/2" | RECEPTION DESKS | DEREK SANDERSON ; DEREKSANDERSON@FRYREGLET.COM ; (773) 551-8749 | -- | https://www.trim-tex.com OR https://flannerytrim.com/ |
| RVL-3 | MILLWORK REVEAL | FRY REGLET | MILLWORK U CHANEL | POWDER COAT: GREY SLATE 2004 | 1/2" | RECEPTION DESKS | DEREK SANDERSON ; DEREKSANDERSON@FRYREGLET.COM ; (773) 551-8749 | -- | https://www.trim-tex.com OR https://flannerytrim.com/ |
| DIVISION 6 WOOD AND PLASTICS | | | | | | | | | |
| PLM-1 | PLASTIC LAMINATE, VERTICAL SURFACE | POLILAM | W0030A IV | LINDEN LIVIDO | -- | | TERRI WADE ; TERRIWADE@DHAOFTHECAROLINAS.COM ; (704) 942-8305 | ASTM E 84 ADHERED CLASS A | https://www.formica.com/en-us/ OR https://panolam.com/nevamar/ |
| PLM-2 | PLASTIC LAMINATE, VERTICAL SURFACE | WILSONART | CUSTOM: X1445-60 - MATCH P2 - JBR | -- | -- | | SARAH HARRIS ; SARAH.HARRIS@WILSONART.COM ; (839) 810-7023 | ASTM E 84 ADHERED CLASS B | https://www.formica.com/en-us/ OR https://panolam.com/nevamar/ |
| PLM-3 | PLASTIC LAMINATE, VERTICAL SURFACE | WILSONART | 4941K-18 | COSMIC STRANDZ | -- | | SARAH HARRIS ; SARAH.HARRIS@WILSONART.COM ; (839) 810-7023 | ASTM E 84 ADHERED CLASS B | https://www.formica.com/en-us/ OR https://panolam.com/nevamar/ |
| DIVISION 8 OPENINGS | | | | | | | | | |
| VWF-1 | VINYL WINDOW FILM | ADMARK GRAPHICS | CUSTOM - #241957D | -- | 408" x 116" | 2-STORY LOBBY | LILY TU-BORANIAN ; LILY@ADMARKGRAPHICS.COM ; (704) 582-1188 | -- | https://www.3m.com/3M/en_US/p/c/films-sheeting/window/ OR https://lumar.com/na/en/architectural/commercial-window-film/decorative/ |
| WDF-1 | WOOD DOOR | -- | -- | MATCH EXISTING WOOD SPECIES, GRAIN, AND STAIN | SEE DOOR SCHEDULE | --- | -- | -- | |
| DIVISION 9 FINISHES - CEILINGS | | | | | | | | | |
| ACP-1A | ACOUSTICAL CEILING PENDANT - BAFFLE | MPS ACOUSTICS | JOIST BAFFLE | PMS COOL GRAY 5 | SEE RCP ; 7-3/4"H | LOBBY ; EXPOSED EDGES TO MATCH ADJACENT COLOR ; CABLE MOUNTED | MICHAEL GALLERY ; MGALLERY@MRGSE.COM ; (803) 600-4330 | ASTM E 84 ADHERED CLASS A | https://turf.design/ OR https://arktura.com/products/ceiling-baffles/ |
| ACP-1B | ACOUSTICAL CEILING PENDANT - BAFFLE | MPS ACOUSTICS | JOIST BAFFLE | PMS 2757 | SEE RCP ; 7-3/4"H | LOBBY ; EXPOSED EDGES TO MATCH ADJACENT COLOR ; CABLE MOUNTED | MICHAEL GALLERY ; MGALLERY@MRGSE.COM ; (803) 600-4330 | ASTM E 84 ADHERED CLASS A | https://turf.design/ OR https://arktura.com/products/ceiling-baffles/ |
| ACP-1C | ACOUSTICAL CEILING PENDANT - BAFFLE | MPS ACOUSTICS | JOIST BAFFLE | PMS 7740 | SEE RCP ; 7-3/4"H | LOBBY ; EXPOSED EDGES TO MATCH ADJACENT COLOR ; CABLE MOUNTED | MICHAEL GALLERY ; MGALLERY@MRGSE.COM ; (803) 600-4330 | ASTM E 84 ADHERED CLASS A | https://turf.design/ OR https://arktura.com/products/ceiling-baffles/ |
| ACP-2A | ACOUSTICAL CEILING PENDANT | MPS ACOUSTICS | FRACTAL | PMS COOL GRAY 5 | SEE RCP | STUDENT LOUNGE ; EXPOSED EDGES TO MATCH ADJACENT COLOR | MICHAEL GALLERY ; MGALLERY@MRGSE.COM ; (803) 600-4330 | ASTM E 84 ADHERED CLASS A | https://turf.design/ OR https://arktura.com/products/ceiling-baffles/ |
| ACP-2B | ACOUSTICAL CEILING PENDANT | MPS ACOUSTICS | FRACTAL | PMS 2757 | SEE RCP | STUDENT LOUNGE ; EXPOSED EDGES TO MATCH ADJACENT COLOR | MICHAEL GALLERY ; MGALLERY@MRGSE.COM ; (803) 600-4330 | ASTM E 84 ADHERED CLASS A | https://turf.design/ OR https://arktura.com/products/ceiling-baffles/ |
| ACP-2C | ACOUSTICAL CEILING PENDANT | MPS ACOUSTICS | FRACTAL | PMS 7740 | SEE RCP | STUDENT LOUNGE ; EXPOSED EDGES TO MATCH ADJACENT COLOR | MICHAEL GALLERY ; MGALLERY@MRGSE.COM ; (803) 600-4330 | ASTM E 84 ADHERED CLASS A | https://turf.design/ OR https://arktura.com/products/ceiling-baffles/ |
| ACP-3A | ACOUSTICAL CEING PENDANT - MOBILE | LIGHTART | ACOUSTIC MOBILE - 1200 | NICKEL | 6" SQUARES OF 9MM SOLA FELT | LOBBY ; 50% RANDOMIZED | MARCIA FOWLER ; MFOWLER@SESCOLIGHTING.COM ; (404) 520-2047 | ASTM E 84 ADHERED CLASS A | https://www.armstrongceilings.com/commercial/en/performance/acoustic-ceiling-tiles-wall-panels.html OR https://www.rockfon.com/products/tiles-and-panels/design/ |
| ACP-3B | ACOUSTICAL CEILING PENDANT - MOBILE | LIGHTART | ACOUSTIC MOBILE - 1200 | ADMIRAL | 6" SQUARES OF 9MM SOLA FELT | LOBBY ; 30% RANDOMIZED | MARCIA FOWLER ; MFOWLER@SESCOLIGHTING.COM ; (404) 520-2047 | ASTM E 84 ADHERED CLASS A | https://www.armstrongceilings.com/commercial/en/performance/acoustic-ceiling-tiles-wall-panels.html OR https://www.rockfon.com/products/tiles-and-panels/design/ |
| ACP-3C | ACOUSTICAL CEILING PENDANT - MOBILE | LIGHTART | ACOUSTIC MOBILE - 1200 | CUSTOM COLOR: PANTONE 7740 (RGB:58 145 63) | 6" SQUARES OF 9MM SOLA FELT | LOBBY ; 20% RANDOMIZED | MARCIA FOWLER ; MFOWLER@SESCOLIGHTING.COM ; (404) 520-2047 | ASTM E 84 ADHERED CLASS A | https://www.armstrongceilings.com/commercial/en/performance/acoustic-ceiling-tiles-wall-panels.html OR https://www.rockfon.com/products/tiles-and-panels/design/ |
| ACT-1 | ACOUSTICAL CEILING TILE, STANDARD | USG | RADAR 2210 | FLAT WHITE 050 | 24" x 24" x 5/8" | FIELD ; SQUARE EDGE ; GRID PROFILE A: USG DX | ADAM DAVIS ; ADADAVIS@USG.COM ; (919) 454-0230 | ASTM E 84 ADHERED CLASS A | http://www.armstrongceilings.com OR www.rockfon.com |
| ACT-2 | ACOUSTICAL CEILING TILE, STANDARD | USG | RADAR HIGH-NRC 22421 | FLAT WHITE 050 | 24" x 24" x 7/8" | 2-STORY LOBBY ; SQUARE EDGE ; GRID PROFILE A: USG DX | ADAM DAVIS ; ADADAVIS@USG.COM ; (919) 454-0230 | ASTM E 84 ADHERED CLASS A | http://www.armstrongceilings.com OR www.rockfon.com |
| ALT-1 | ALUMINUM TRIM | USG | COMPASSO STANDARD PERIMETER TRIMS | CUSTOM COLOR: PANTONE 2757 (RGB:31 42 93) | FIT CLOUD THICKNESS | BOOKSTORE CLOUD CEILING | ADAM DAVIS ; ADADAVIS@USG.COM ; (919) 454-0230 | -- | http://www.armstrongceilings.com OR www.rockfon.com |
| DIVISION 9 FINISHES - FLOORS | | | | | | | | | |
| CPT-1 | CARPET TILE, FLOORING | TARKETT | QUIET EDIT - 11816 TRANSCEND EDIT | 56409 DISCREET | 24" x 24" | OFFICES, TYP. | KIMBERLY TRIMBLE ; KIMBERLY.TRIMBLE@TARKETT.COM ; (803) 394-9611 | CLASS 1 (ASTM E648) | www.shaw.com OR www.mohawk.com |
| CPT-2 | CARPET TILE, FLOORING | TARKETT | FABRIC + FORM COLLECTION - AIDA CLOTH | 115201879-20 | 24" x 24" | MEETING / CONFERENCE ROOMS, TYP. | KIMBERLY TRIMBLE ; KIMBERLY.TRIMBLE@TARKETT.COM ; (803) 394-9611 | CLASS 1 (ASTM E648) | www.shaw.com OR www.mohawk.com |
| CPT-3 | CARPET TILE, FLOORING | TARKETT | FABRIC + FORM COLLECTION - AIDA CLOTH | 115201879-50 | 24" x 24" | LOBBY INSET RUGS, TYP. | KIMBERLY TRIMBLE ; KIMBERLY.TRIMBLE@TARKETT.COM ; (803) 394-9611 | CLASS 1 (ASTM E648) | www.shaw.com OR www.mohawk.com |
| CSL-1 | CONCRETE SEALER | -- | -- | -- | -- | -- | -- | -- | |
| GTF-1 | GROUT, FLOORING | LATICRETE | -- | 60 DUSTY GREY | -- | PTF-1 & PTF-2 | -- | -- | https://www.custombuildingproducts.com/grout-color-selector OR https://www.mapei.com/us/en-us/tools-and-downloads/grout-caulk-color-palette |
| LVT-1 | LUXURY VINYL TILE, FLOORING | TARKETT | CONTOUR - CREATE TOGETHER | CULTURE 11536 | 12" x 36" | APPLY SELF-LEVELING UNDERLAYMENT TO HELP WITH TELEGRAPHING | KIMBERLY TRIMBLE ; KIMBERLY.TRIMBLE@TARKETT.COM ; (803) 394-9611 | CLASS 1 (ASTM E648) | www.shaw.com OR www.mohawk.com |
| PTF-1 | PORCELAIN TILE FLOORING | DALTILE | ENLITE | CLARITY EL62 - MATTE | 15" x 30" | ASHLAR INSTALL PATTERN | KATIE BERRY ; KATIE.BERRY@DALTILE.COM | CLASS A (ASTM E84) | https://www.porcelanosa.com/us/ OR https://www.crossville.com/ |
| PTF-2 | PORCELAIN TILE FLOORING | DALTILE | INDOTERRA | TRAIL RECTANGLE IN44 - MATTE | 12" x 24" | RESTROOMS - ASHLAR INSTALL PATTERN | KATIE BERRY ; KATIE.BERRY@DALTILE.COM | CLASS A (ASTM E84) | https://www.porcelanosa.com/us/ OR https://www.crossville.com/ |
| RJT-1 | RUBBER JOINT | TBD | TBD | ARCH. TO SPECIFY COLOR IN SUBMITTALS | -- | NEW RUBBER AT ALL FLOOR AND WALL JOINTS | -- | -- | |
| RST-1 | RUBBER STAIR TREAD | TARKETT | ANGLE FIT RUBBER STAIR TREAD WITH INTEGRATED RISER - VIRNRDTR 48 SQ | 48 GREY | MATCH EXISTING LENGTH | LOBBY MONUMENTAL STAIRCASE | KIMBERLY TRIMBLE ; KIMBERLY.TRIMBLE@TARKETT.COM ; (803) 394-9611 | -- | https://roppe.com/rubber-tread/ OR https://www.nora.com/united-states/en/product-line/s/stairtreads |
| WOM-1 | WALK OFF MAT TILE | SHAW CONTRACT | WELCOME II TILE | STERLING 31557 | 24" x 24" | MONOLITHIC INSTALL PATTERN | JEANNINE HILL ; JEANNINE.HILL@SHAWCONTRACT.COM ; (864) 421-7218 | CLASS 1 (ASTM E648) | www.tarkett.com OR www.mohawk.com |
| DIVISION 9 FINISHES - WALL BASE | | | | | | | | | |
| PTB-1 | PORCELAIN TILE BASE FLOORING | DALTILE | INDOTERRA | TRAIL IN44 - MATTE | 3" x 24" | RESTROOMS | KATIE BERRY ; KATIE.BERRY@DALTILE.COM | CLASS A (ASTM E84) | https://www.porcelanosa.com/us/ OR https://www.crossville.com/ |

1. BASIS OF DESIGN (BOD) MANUFACTURERS AND PRODUCTS ARE NOTED ON THE FINISH SCHEDULE.
2. PRIOR APPROVALS MUST BE SENT TO ARCHITECT INCLUDING PERFORMANCE DATA AND PHYSICAL SAMPLE OF AREAS WHERE ALTERNATE FINISH IS PROPOSED.
3. REFER TO SECTION 01 25 00 SUBSTITUTION PROCEDURES FOR REQUIREMENTS FOR ALTERNATE PRODUCT/MANUFACTURER APPROVAL.

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Terhune Ground Floor and First Floor Bookstore Renovations H59-6288-JM

DELIVERY ORDER PROJECT NUMBER: H59-6288-JM

Spartanburg Community College
107 Community College Drive
Spartanburg, South Carolina 29303

LS3P PROJECT: 3202-240135

SHEET NAME:
FINISH LEGEND
AND SCHEDULE

ORIG SUBMISSION: 2025.06.20

SHEET:
A-720

ISSUED FOR CONSTRUCTION

1. BASIS OF DESIGN (BOD) MANUFACTURERS AND PRODUCTS ARE NOTED ON THE FINISH SCHEDULE.
2. PRIOR APPROVALS MUST BE SENT TO ARCHITECT INCLUDING PERFORMANCE DATA AND PHYSICAL SAMPLE OF AREAS WHERE ALTERNATE FINISH IS PROPOSED
3. REFER TO SECTION 01 25 00 SUBSTITUTION PROCEDURES FOR REQUIREMENTS FOR ALTERNATE PRODUCT/MANUFACTURER APPROVAL.

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ASSOCIATES
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GREENVILLE, SC
B74003
REGISTERED ARCHITECT

STATE OF SOUTH CAROLINA
JOHN R.
EDWARDS
Greenville, SC
No. 4202
REGISTERED ARCHITECT

John R. Edwards
06.20.2005

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**Terhune Ground Floor and First Floor
Bookstore Renovations H59-6288-JM**

DELIVERY ORDER PROJECT NUMBER: H59-6288-JM

Spartanburg Community College
107 Community College Drive,
Spartanburg, South Carolina 29303

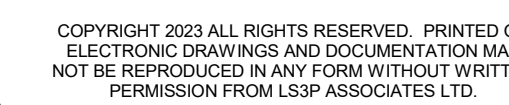
LS3P PROJECT: 3202-2407-35

SHEET NAME:
FINISH LEGEND

ORIG 2025.06.20
SUBMISSION:

SHEET: **A-721**

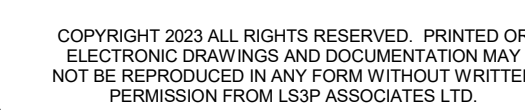
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LS3P PROJECT: 3202-240135

ISSUED FOR CONSTRUCTION





LS3P PROJECT: 3202-240135

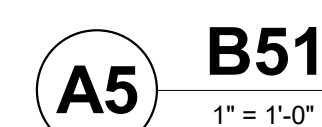
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SHEET NAME:
CABINET DETAILS -
CASEWORK

ORIG SUBMISSION: 2025.06.20

SHEET: **A-761**

ISSUED FOR CONSTRUCTION



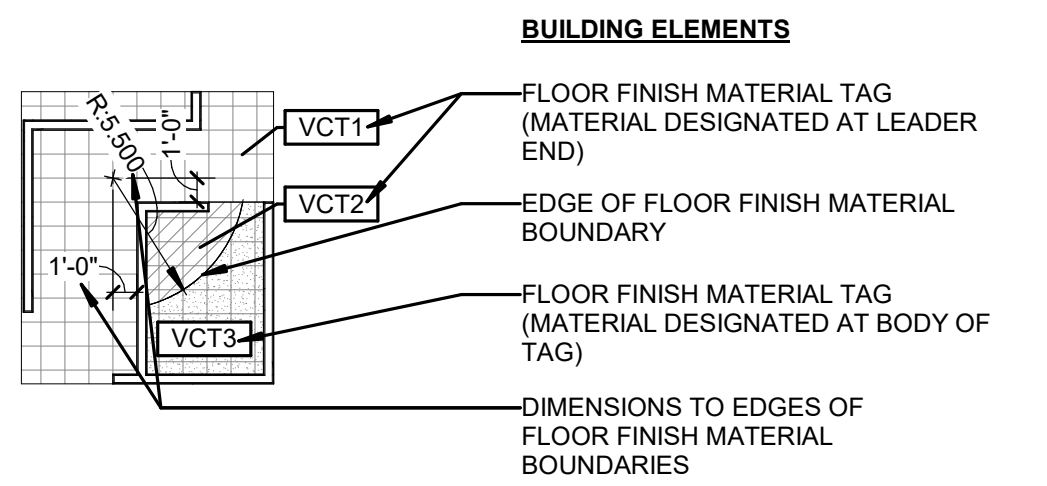




FINISH PLAN GENERAL NOTES

1. PRIOR TO INSTALLATION AND FABRICATION, CONTRACTOR SHALL COORDINATE WITH ARCHITECT AND INTERIOR DESIGNER TO REVIEW ALL FLOOR PATTERNS AND FINISHES. CHAIRPOSS, CHAIRS, AND SEATING SHALL BE APPROVED BY OWNER AND ARCHITECT PRIOR TO PAINTING. THE PAINTING CONTRACTOR SHALL PAINT EACH FLOOR MATERIAL COLOR WITH THE DESIGNATED FINISH ON A 4" X 4" CYLINDRICAL BOARD. THE BOARD SHALL BE REMOVED AND REINSTALLED AND APPROVED AT THE JOB SITE WITH THE APPROPRIATE LIGHTING. INSTALLERS OF EACH FINISH MATERIAL SHALL INSPECT BOTH THE SUBSTRATE AND CONDITIONS UNDER THE FINISH MATERIAL TO BE INSTALLED. IF ANY DEFECTS OCCURRED UNDER UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED IN AN ACCEPTABLE MANNER TO ALL PARTIES AND MEET ALL MANUFACTURER'S REQUIREMENTS.
2. ALL INTERIOR FINISHES SHALL COMPLY WITH SECTION 803 OF RESTRICTIONS OF COMBUSTIBLE MATERIALS OF THE INTERNATIONAL BUILDING CODE. ALL FINISHES SHALL BE NON-TOXIC AND NON-FLAMMABLE.
3. THE INTENT IS TO PROVIDE A COMPLETE FINISHED INTERIOR WHETHER OR NOT SPECIFICALLY INDICATED. ITEMS SHALL BE FINISHED AND/OR PAINTED AS REQUIRED BY DESIGN, WHETHER OR NOT SPECIFICALLY SCHEDULED OR INDICATED ON DRAWINGS.
4. THE SUBCONTRACTOR SHALL USE LATEX ADDITIVE IN SETTING BED PER MANUFACTURER'S RECOMMENDATIONS.
5. PAINT ALL EXPOSED AND SEMI-EXPOSED WALL BLOCKING AND METAL SURFACES TO MATCH ADJACENT SURFACES. COORDINATE WITH INTERIOR DESIGNER.
6. PAINTED FINISH ON METAL SURFACES SHALL BE SMOOTH, CLEAR AND FREE OF ALL BRUSH MARKS.
7. INSTALL A TRANSITION STRIP AT THRESHOLD WHERE DIFFERING FLOORING MATERIALS ABUT, UNLESS OTHERWISE NOTED. COORDINATE COLOR/FINISH WITH DESIGNER.
8. PAINT ALL WALL MOUNTED ACCESS DOORS, GRILLES, RETURN AIR GRILLES, COVER PLATES, FAN COIL UNITS, FIRE EQUIPMENT CABINETS, AND ELECTRICAL CABINETS TO MATCH ADJACENT SURFACE UNLESS OTHERWISE NOTED.
9. ALL FLOOR FINISH CHANGES SHALL OCCUR AT THE CENTER LINE OF FLOOR.
10. FLOOR PATTERNS TO CONTINUE UNDER ALL OPEN WORK/WORKWORK SURFACES.
11. PRIOR TO ORDERING, SUB-CONTRACTORS FOR FLOORING, PAINTING, AND MILLWORK, SHALL BE SUBMITTED TO ARCHITECT/INTERIOR DESIGNER AN 8"x8" SAMPLE BOARD OF EACH MATERIAL, COLOR, AND FINISH TO BE ORDERED.
12. IF ANY DISCREPANCIES OR OMISSIONS ARE NOTED IN THESE DRAWINGS, CONTRACTOR/INTERIOR DESIGNER OR ARCHITECT PRIOR TO ORDERING OR BEGINNING WORK.
13. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK LEAD TIMES ON FINISHES IN ORDER TO AVOID DELAYING WORK.
14. IN ORDER TO MEET LEAD TIMES, CONTRACTOR SHALL ORDER THE INSTALLER TO USE RAMMOND BREAKAWAY LEVELING SYSTEM CLIPS AND WEDGES OR EQUAL. INSTALLER TO USE PROPER LEVELING SPACERS IN ORDER TO OBTAIN CORRECT FINISH SPECIFICATIONS. CONTRACTOR SHALL ORDER THE DESIRED FINISH.
15. REFER TO FINISH LEDGED AND SCHEDULE ON A-7.1 FOR FINISHES.
16. SEE SHEET A-601 FOR FLOORING TRANSITIONS DETAILS.

FLOOR PATTERN LEGEND



FINISH PLAN NOTES BY NUMBER

| NUMBER | NOTE |
|--------|--|
| 1 | STAIRS TO RECEIVE NEW STAIR TREADS (RST-1). ALL METAL ON STAIRCASE TO RECEIVE PNT-3 ; ADJACENT COLUMN TO BE PAINTED PNT-3 WITH RBS-2 RUBBER BASE |
| 2 | GYP ON ROUND COLUMNS TO BE PAINTED PNT-4 WITH RBS-2 RUBBER BASE |

DELIVERY ORDER PROJECT NUMBER: H59-6288-JM

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107 Community College Drive,
Spartanburg, South Carolina 29303

LEAF PROJECT. 0202-240130

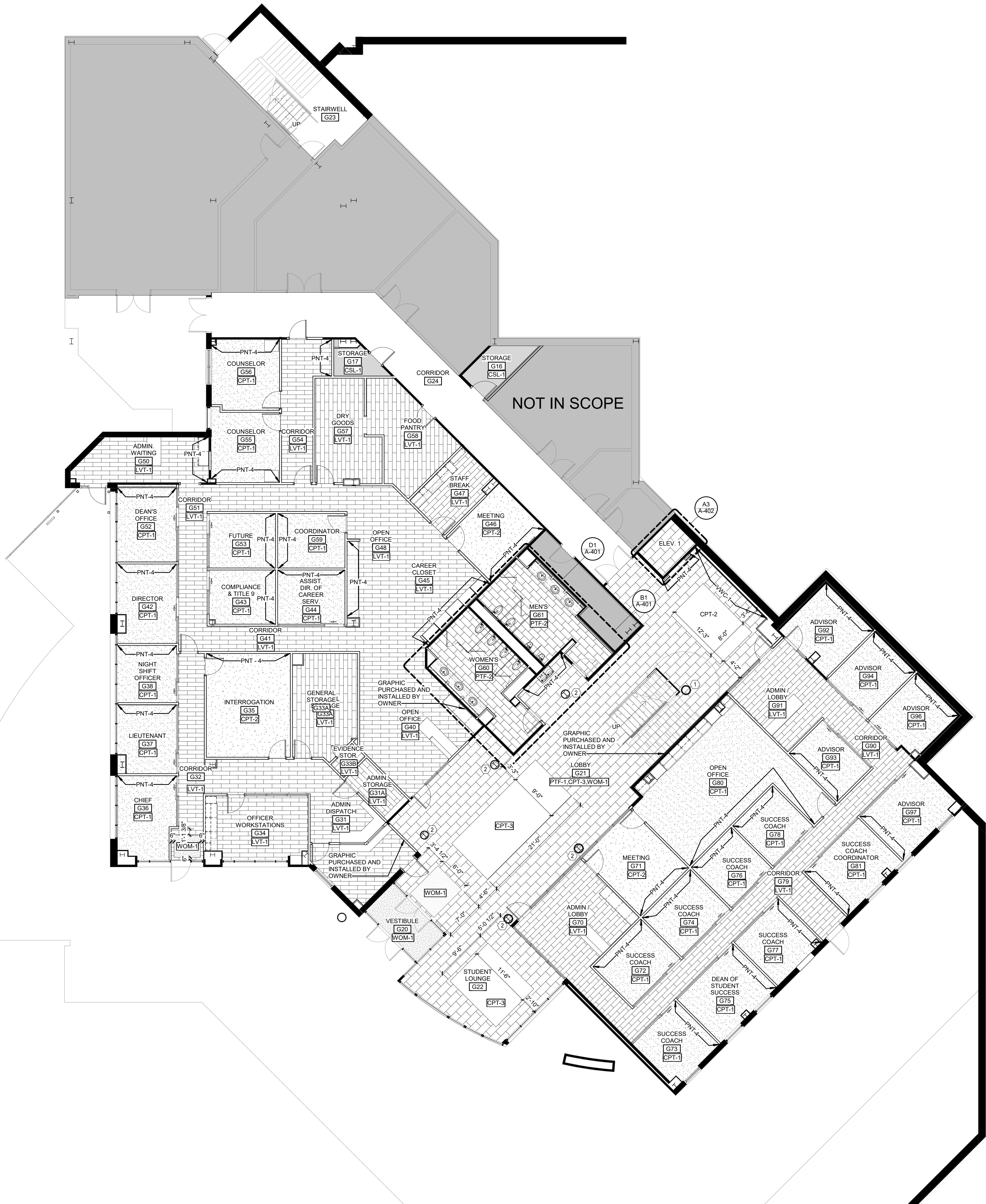
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HEET NAME:
FINISH PLAN -
GROUND LEVEL

ORIGINAL SUBMISSION: 2025.06.20

HEET: **A-800**

ISSUED FOR CONSTRUCTION



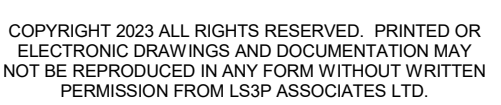
A1 FINISH PLAN- GROUND LEVEL

$$1/8^{\circ} = 1'-0''$$

6/23/2025 10:17:39 AM



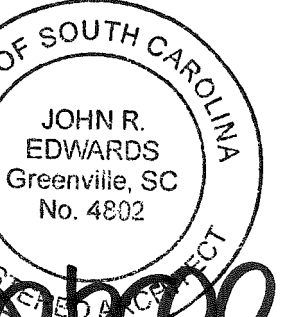
| | |
|---|--|
| 1 | CLOTHING RACKS. OWNER PROVIDED. |
| 2 | PURSE RACK. OWNER PROVIDED. |
| 3 | MANNEQUINS. OWNER PROVIDED. |
| 4 | OPEN SHELVING PROVIDED AND INSTALLED BY OWNER. |
| 5 | EXISTING GUN SAFE TO BE OWNER PROVIDED |



LS3P PROJECT: 3202-240135

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LESLIE FRANKEL, 1. JZ027270133

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SHEET NAME:
FURNITURE PLAN -
LEVEL 1

RIG 2025.06.20
SUBMISSION:

HEET: **A-901**

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FURNITURE PLAN-LEVEL 1

$$1/8" = 1'-0"$$

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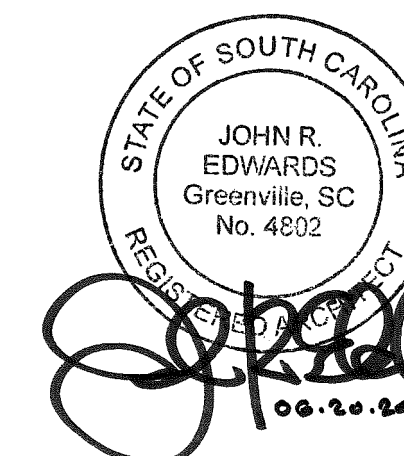
* ALL 3D VIEWS ARE FOR REFERENCE ONLY*



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**Terhune Ground Floor and First Floor
Bookstore Renovations H59-6288-JM**

11.10.2019

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SHEET NAME:
3D INTERIOR
VIEWS

ORIG SUBMISSION: 2025.06.20

SHEET:

A-902

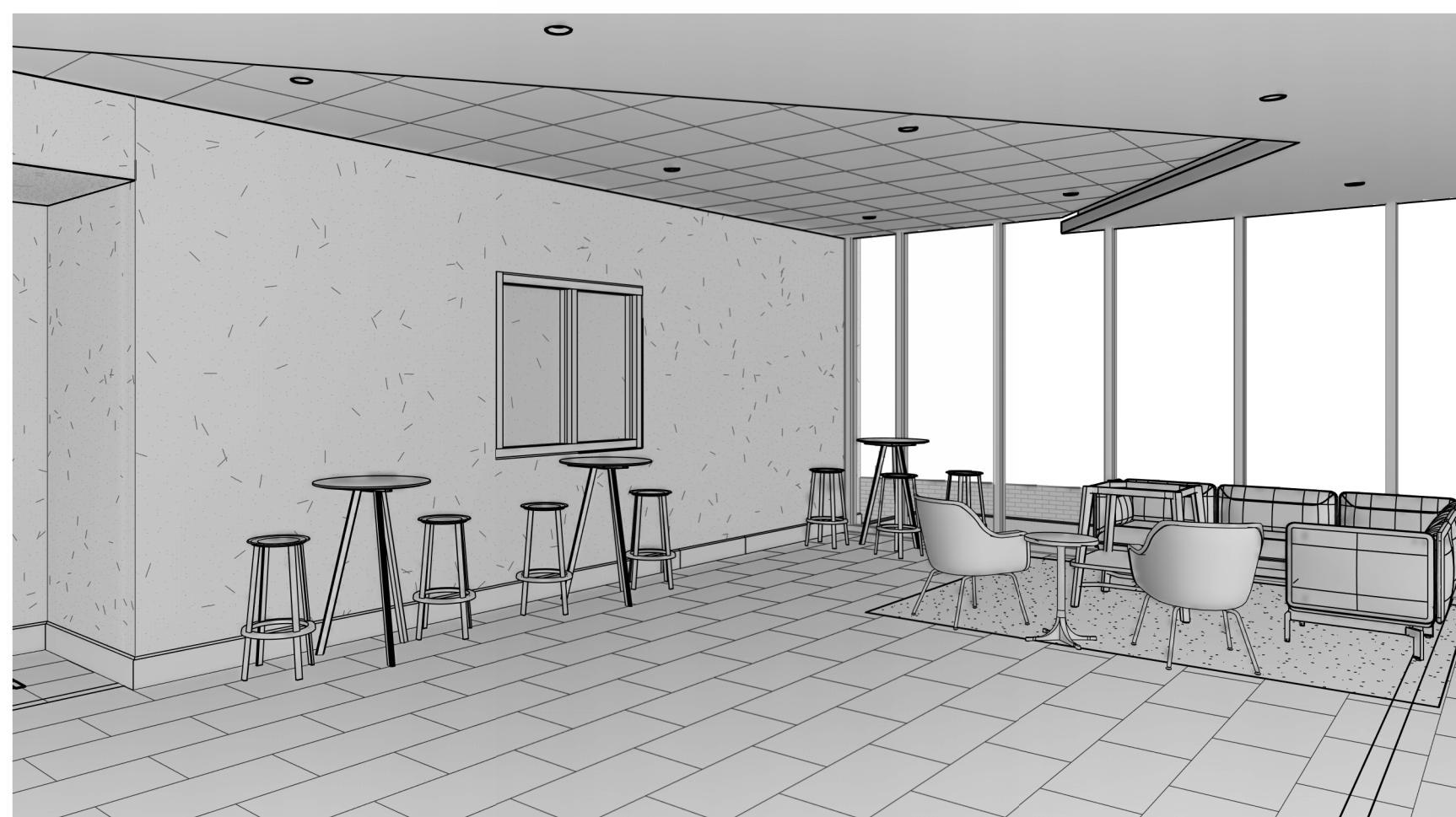
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D1 LEVEL 1 - BOOKSTORE @ SALES COUNTER



D2 LEVEL 1 - BOOKSTORE @ ELECTRONIC DISPLAY



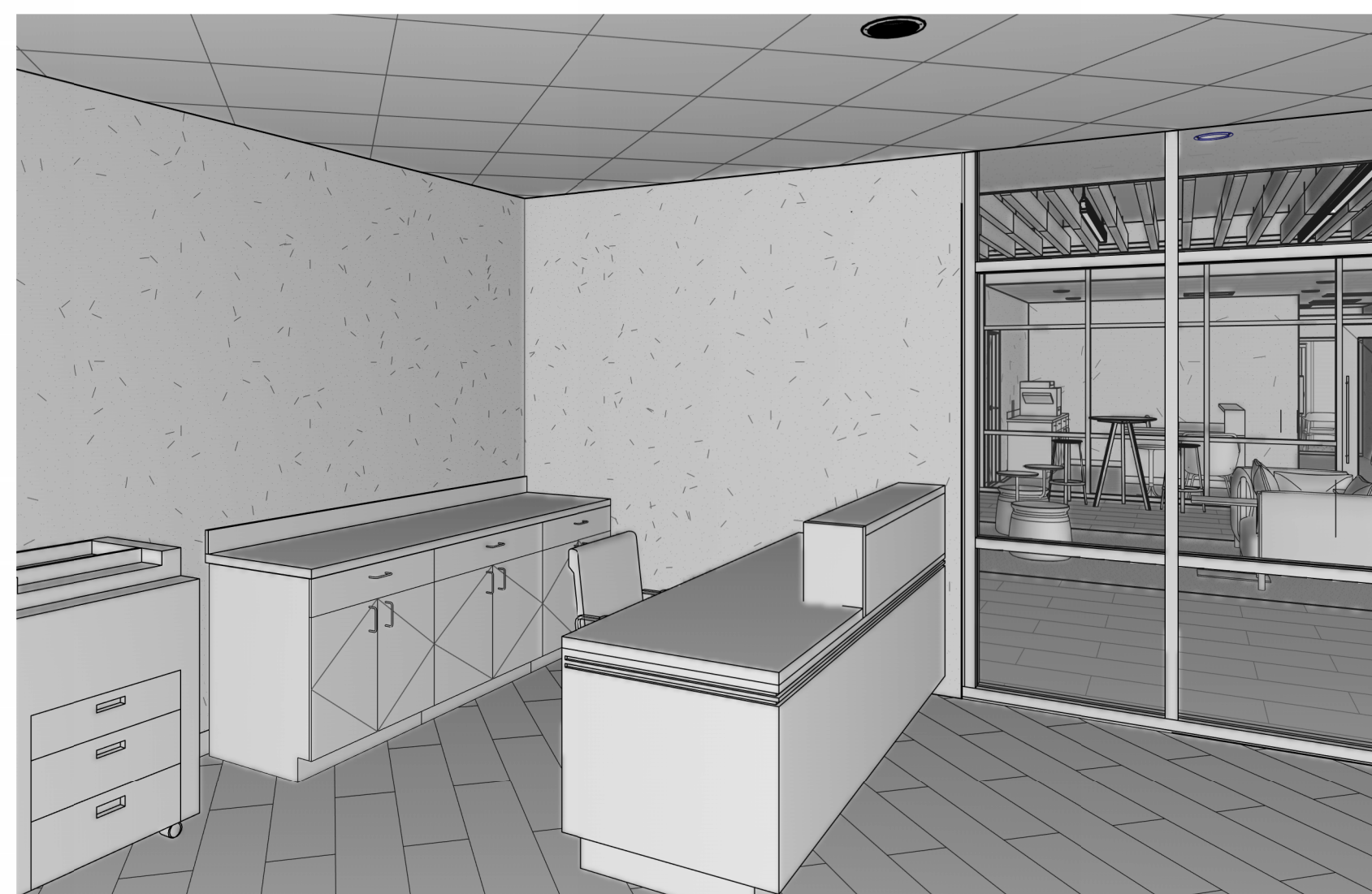
(B1) LEVEL 1 - LOBBY @ BOOKSTORE ENTRANCE



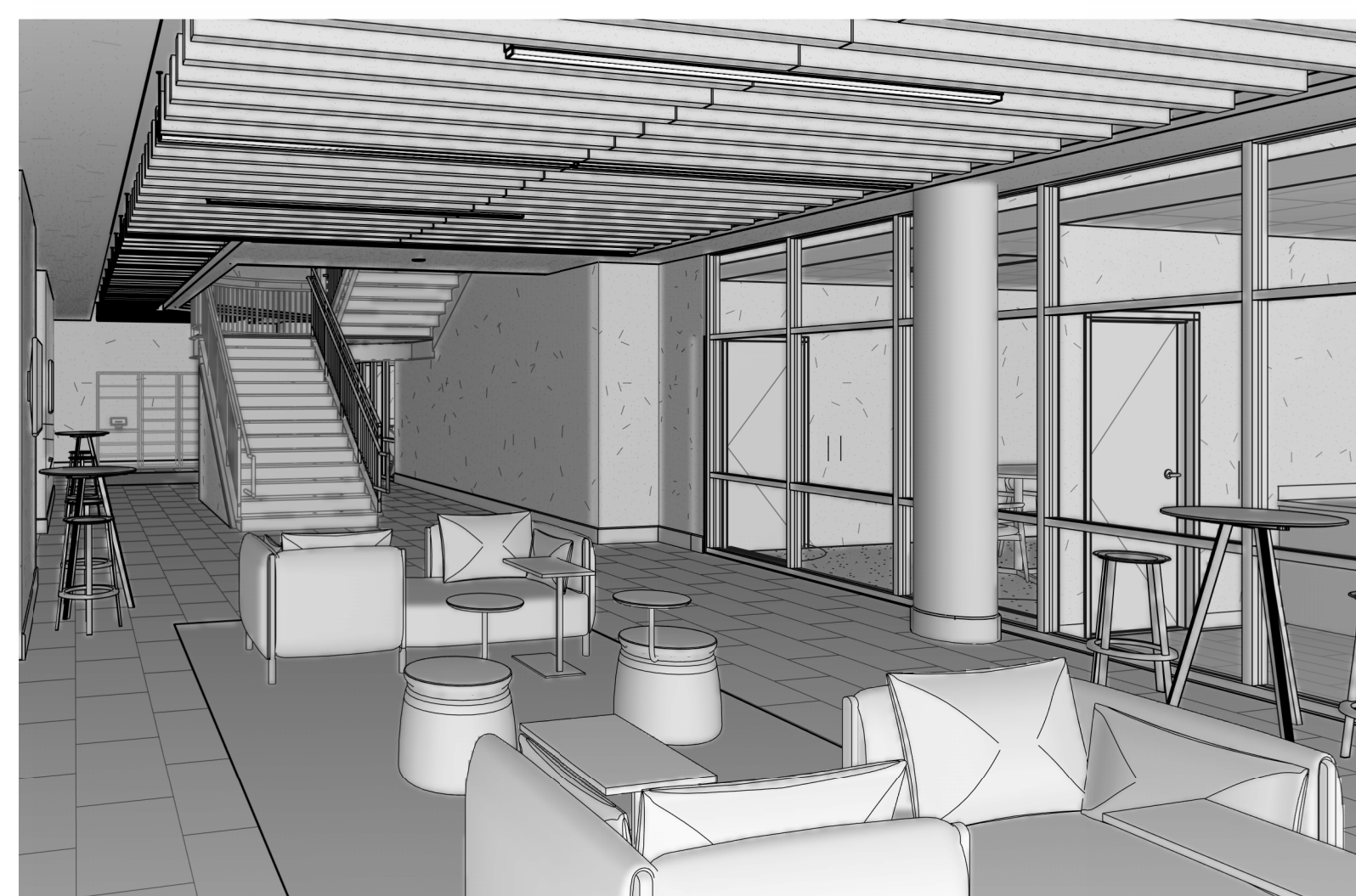
B3 LEVEL 1 - LOBBY @ FRONT ENTRANCE



B4 **LEVEL 1 - LOBBY**



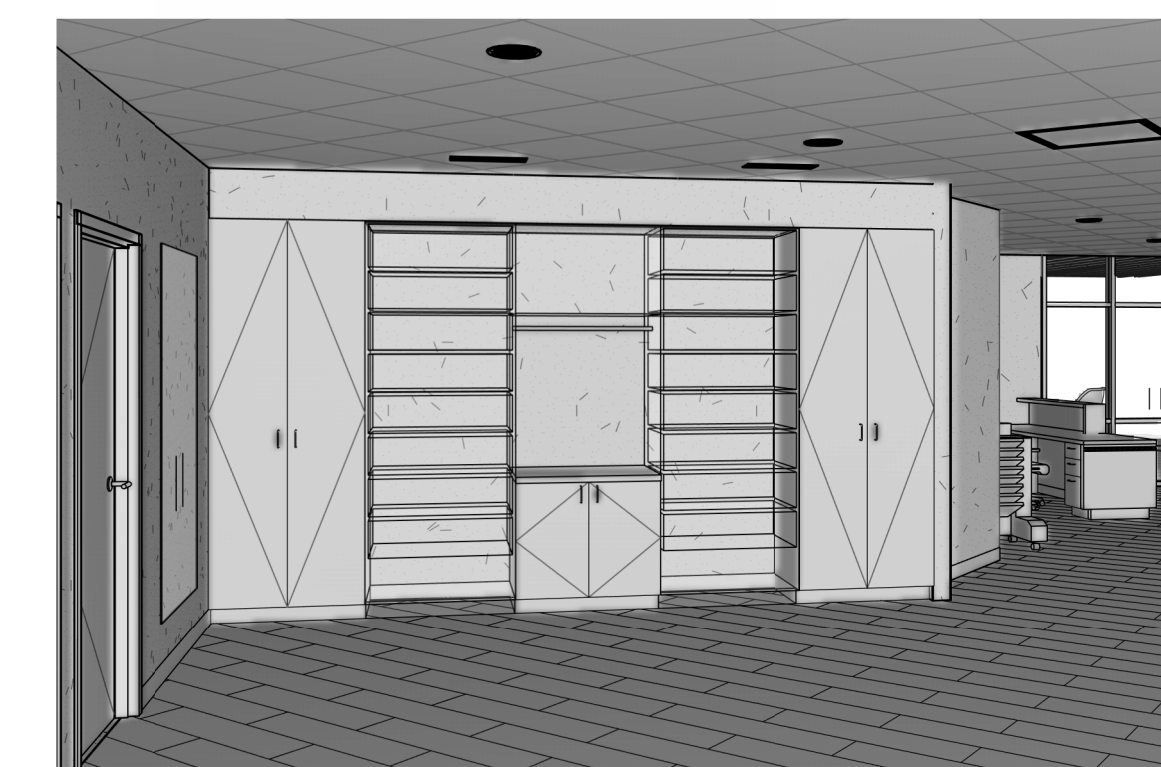
A1 GROUND LEVEL - STUDENT SUCCESS



A3 GROUND LEVEL - LOBBY



A4 GROUND LEVEL - STUDENT LOUNGE



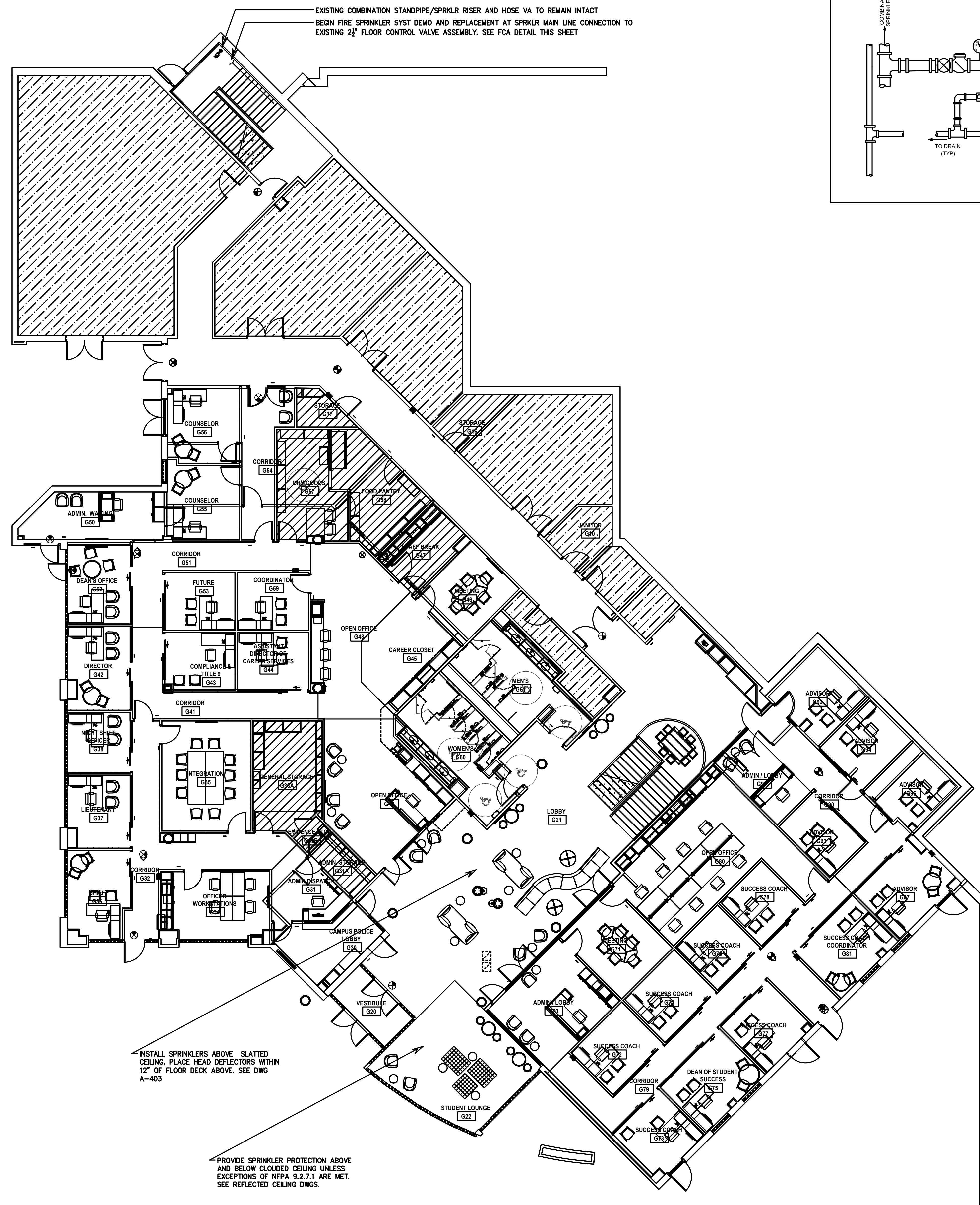
A6 GROUND LEVEL - CAREER CLOSET

E

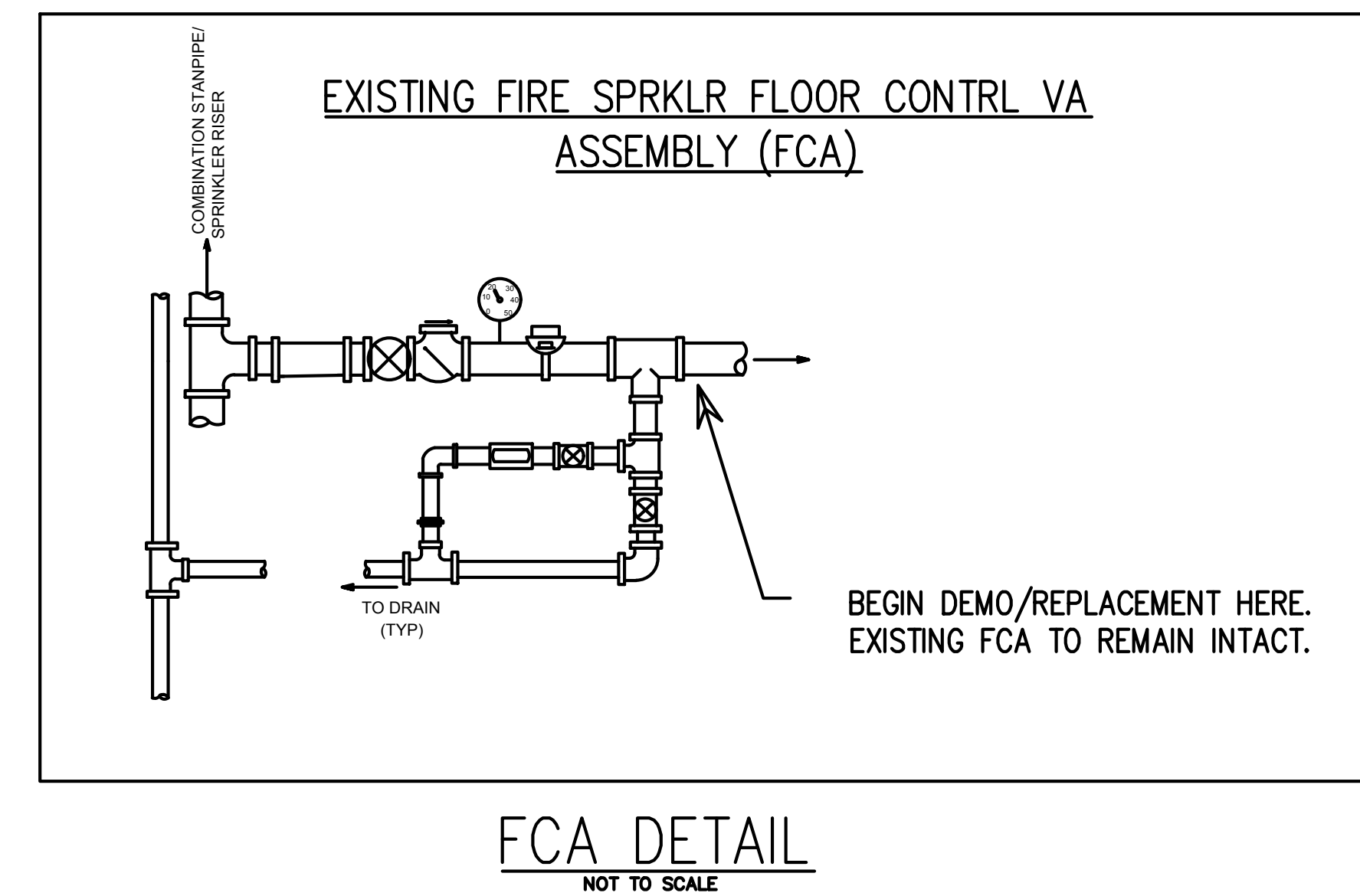
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- # B

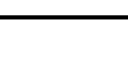



A



LEVEL U1- FIRE SPRINKLER



HAZARD CLASSIFICATIONS

- | | |
|---|---|
|  | THESE AREAS ARE CLASSIFIED AS LIGHT HAZARD. MIN DES DENSITY = 0.1 GPM/SF OVER HYDRAULICALLY MOST REMOTE 1,500 S.F. OR LARGEST AREA. DES AREA REDUCTION OF NFPA 13 19.2.3.2.3 ALLOWED AS APPLICABLE |
|  | THESE AREAS ARE CLASSIFIED AS ORD 1 HAZARD. MIN DES DENSITY = 0.15 GPM/SF OVER MOST HYDRAULICALLY MOST REMOTE 1,500 S.F. OR LARGEST AREA. DES AREA REDUCTION OF NFPA 13 19.2.3.2.3 ALLOWED AS APPLICABLE |
|  | THESE AREAS ARE CLASSIFIED AS ORD 2 HAZARD. MIN DES DENSITY = 0.20 GPM/SF OVER MOST HYDRAULICALLY MOST REMOTE 1,500 S.F. OR LARGEST AREA. DES AREA REDUCTION OF NFPA 13 19.2.3.2.3 ALLOWED AS APPLICABLE |
|  | THESE AREAS ARE OUTSIDE THE WORK AREA. |

PLAN NOTES

- 1) DEMO AND REMOVE ALL EXISTING FIRE SPRINKLER SYSTEM COMPONENTS IN THE LEVEL 11 WORK AREAS AS SHOWN. EXCEPTION: EXISTING FLOOR CONTROL ASSEMBLY ATTACHED TO THE RISER TO REMAIN INTACT.
- 2) STANPIPE RISERS, HOSE STATIONS, AND STANDPIPE BULK MAIN TO REMAIN INTACT.
- 3) CONNECT THE NEW SPRINKLER SYSTEM MAIN TO THE EXISTING LEVEL 11 FLOOR CONTROL ASSEMBLY DISCHARGE AS SHOWN.
- 4) SPRKLR COMPONENTS PIPING OUTSIDE THE WORK AREA TO REMAIN INTACT.
- 5) CONNECT EXISTING SPRKLR PIPING OUTSIDE THE WORK AREA TO NEW SPRINKLER PIPING AS REQUIRED.
- 6) WHERE INSTALLATION OF NEW WALLS CAUSE EXISTING ADJACENT SPRINKLER HEADS OUTSIDE OF THE WORK AREA TO EXCEED ALLOWABLE COVERAGE AREAS, ADD TO OR RELOCATE EXISTING HEADS AS NECESSARY.
- 7) PROVIDE SEISMIC BRACING AND RESTRAINTS ON ALL NEW SYSTEM COMPONENTS, ESPECIALLY SEE THE SEISMIC JOINT THROUGHOUT THE BLDG THAT REQUIRES SEISMIC ASSEMBLIES FOR ALL PIPING CROSSING THIS JOINT.

SHEET NAME:
FIRE SPRINKLER
PLAN - GROUND LEVEL

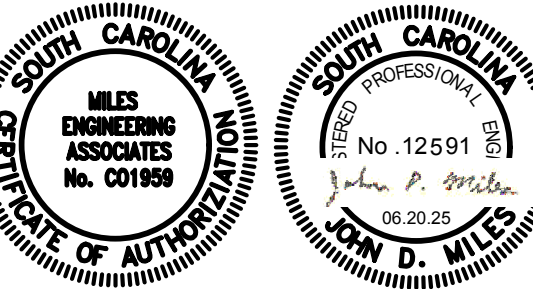
ORIG 06.20.25
SUBMISSION:

SHEET: **FS101**

ISSUED FOR CONSTRUCTION

Tehrune Ground Floor and First Floor Bookstore Renovations

107 Community College Drive,
Spartanburg, South Carolina 29303
LS3P PROJECT: Delivery Order Project Number: H59-6288-JM



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FOR THE UNIVERSITY OF CHICAGO

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SHEET NAME:
FIRE SPRINKLER
PLAN - LEVEL 1





ORIG SUBMISSION: 06.20.25

SHEET:

ES-102

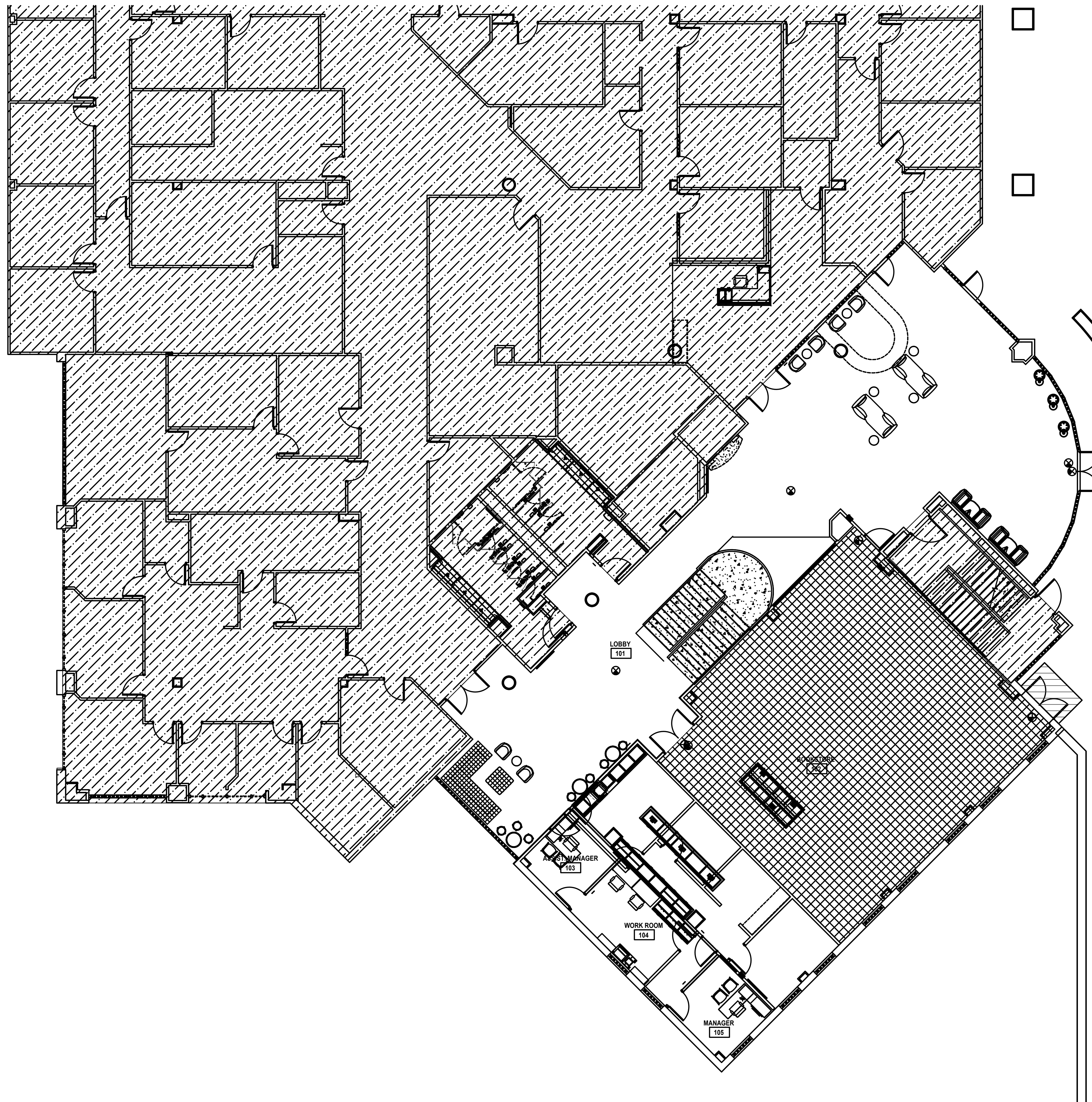
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HAZARD CLASSIFICATIONS

- | | |
|---|---|
|  | <p>THESE AREAS ARE CLASSIFIED AS LIGHT HAZARD. MIN DES DENSITY = 0.1 GPM/SF OVER HYDRAULICALLY MOST REMOTE 1,500 S.F. OR LARGEST AREA. DES AREA REDUCTION OF NFPA 13 19.2.3.2.3 ALLOWED AS APPLICABLE</p> |
|  | <p>THESE AREAS ARE CLASSIFIED AS ORD 1 HAZARD. MIN DES DENSITY = 0.15 GPM/SF OVER MOST HYDRAULICALLY MOST REMOTE 1,500 S.F. OR LARGEST AREA. DES AREA REDUCTION OF NFPA 13 19.2.3.2.3 ALLOWED AS APPLICABLE</p> |
|  | <p>THESE AREAS ARE CLASSIFIED AS ORD 2 HAZARD. MIN DES DENSITY = 0.20 GPM/SF OVER MOST HYDRAULICALLY MOST REMOTE 1,500 S.F. OR LARGEST AREA. DES AREA REDUCTION OF NFPA 13 19.2.3.2.3 ALLOWED AS APPLICABLE</p> |
|  | <p>THESE AREAS ARE OUTSIDE THE WORK AREA.</p> |

PLAN NOTES

- 1) DEMO AND REMOVE ALL EXISTING FIRE SPRINKLER SYSTEM COMPONENTS IN THE LEVEL 1 WORK AREA AS SHOWN.
- 2) CONNECT THE NEW SPRINKLER SYSTEM MAIN TO THE EXISTING LEVEL 1 FLOOR CONTROL ASSEMBLY DISCHARGE.
- 3) SPRKLR COMPONENTS PIPING OUTSIDE THE WORK AREA TO REMAIN INTACT.
- 4) CONNECT EXISTING SPRKLR PIPING OUTSIDE THE WORK AREA TO NEW SPRINKLER PIPING AS REQUIRED.
- 5) WHERE INSTALLATION OF NEW WALLS CAUSE EXISTING ADJACENT SPRKLR HEADS OUTSIDE OF THE WORK AREA TO EXCEED ALLOWABLE COVERAGE AREAS, ADD TO OR RELOCATE EXISTING HEADS AS NECESSARY.
- 6) PROVIDE SEISMIC BRACING AND RESTRAINTS ON ALL NEW SYSTEM COMPONENTS, ESPECIALLY SEE THE SEISMIC DETAIL THROUGHOUT THE BLDG THAT REQUIRES SEISMIC ASSEMBLIES FOR ALL PIPING CROSSING THIS JOINT.

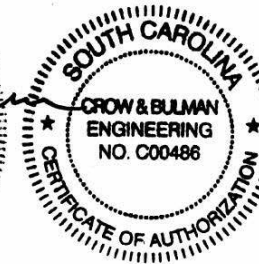


LEVEL 1- FIRE SPRINKLER
SCALE: 1/8" = 1'-0"



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SHEET NAME:
PLUMBING NOTES
AND SYMBOLS







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SYMBOLS

| | |
|---|---------------------------------------|
| — | SEWER OR WASTE |
| ---- | VENT (OR EXIST. PIPE IF NOTED) |
| ---- | POTABLE COLD WATER (CW) |
| ---- | POTABLE HOT WATER (HW) |
| ---- | HOT WATER PUMPED RETURN |
| — D — | DRAIN |
| — SD — | STORM DRAIN |
| — DS — | DOWNSPOUT |
| —  — | GATE VALVE |
| —  — | BALL VALVE |
| —  — | UNION |
| —  — | CHECK VALVE |
| —  — | GLOBE VALVE |
| VB | VALVE BOX |
| CO | CLEANOUT |
| FD | FLOOR DRAIN |
| G — | NATURAL GAS |
| HB | HOSE BIBB |
| WH | WALL HYDRANT |
| VTR | VENT THRU ROOF |
| SA | SHOCK ABSORBER |
| HD | HUB DRAIN |
| — A — | ACID WASTE |
| FS | FLOOR SINK |
| — F — | FIRE LINE |
| FH | FIRE HYDRANT |
| — TP — | TRAP PROTECTION (SEE SPECIFICATIONS) |
| O/H | OVER HEAD |
| U/G | UNDERGROUND |
| TG | TRAP GUARD VALVE (SEE SPECIFICATIONS) |
| AAV | AIR ADMITTANCE VALVE |
| —  — | CALIBRATED BALANCING VALVE |

GENERAL NOTES:

1. ALL SEWER FLOOR CLEAN-OUTS SHALL TURN UP TO GRADE/LAB WITH A LONG SWEEP ELL.
 2. OUTSIDE CLEAN-OUTS SHALL BE SET IN A 4" DEEP CONCRETE PAD. SEE SPECS.
 3. ALL FLOOR DRAINS, HUB DRAINS, AND A/C CONDENSATE DRAINS SHALL HAVE DEEP SEAL TRAPS (MINIMUM 4" SEAL).
 4. ALL WATER CLOSETS SHALL HAVE HYDRAULIC SHOCK ABSORBERS; REFER TO SPECS FOR SIZE. MOUNT EACH SHOCK ABSORBER ON A RISER AND ACCESSIBLE FROM THE CEILING SPACE.
 5. FIRE PROOF ALL PIPE PENETRATIONS OF A FIRE WALL. SEE DETAILS ON P-201.
 6. ALL MANHOLES AND INTERCONNECTING SEWER LINES SHALL BE SET TO A TOLERANCE TO ALLOW LINE OF SITE INSPECTION BETWEEN MANHOLES.
 7. INSULATE P-TRAP AND HORIZONTAL DRAIN LINES ABOVE CEILING THAT RECEIVE THE CONDENSATE FROM HVAC EQUIPMENT (SEE SPECIFICATIONS).
 8. DO NOT INSTALL PLUMBING VENTS WITHIN 1'0" FROM A FRESH AIR INTAKE VENT.
 9. MECHANICAL ROOMS: COORDINATE THE EXACT LOCATION OF MECHANICAL ROOM FLOOR DRAINS WITH MECHANICAL CONTRACTOR AND G.C. TO AVOID EQUIPMENT AND CONCRETE PADS.
 10. COORDINATE LOCATIONS OF OVERFLOW SCUPPERS WITH ARCHITECTURAL ELEVATIONS
 11. WHERE SEWER LINES ARE ROUTED BELOW THE STRUCTURAL FOOTINGS OR THROUGH FOUNDATION WALLS, PROVIDE A PIPE SLEEVE. THE SLEEVE SHALL BE A MINIMUM 2 PIPE SIZES LARGER THAN THE PIPE PASSING BELOW THE FOOTING.
 12. WHERE PLUMBING LINES PENETRATE A WALL OR WHERE PLUMBING LINES EXTEND THROUGH FLOOR SLABS AND OR THICKENED SLABS, THE PLUMBING LINE SHALL BE INSULATED WITH 3/4" THICK ARMAFLEX INSULATION.
 13. INSTALL A FLEXIBLE RUBBER VALVE INSERT IN ADDITION TO THE DEEP SEAL TRAP ON ALL FLOOR DRAINS AND HUB DRAINS..
 14. PROTECT ALL PENETRATIONS OF NO-FIRE RESISTANCE RATED ASSEMBLIES WITH AN APPROVED NON-COMBUSTIBLE MATERIAL TO RESIST THE PASSAGE OF FLAME AND SMOKE
 15. THE AIR GAP BETWEEN ALL INDIRECT WASTE PIPES AND THE FLOOD LEVEL RIM OF THE WASTE RECEPTOR SHALL BE MINIMUM TWO PIPE DIAMETERS OF THE INDIRECT WASTE PIPE.
18. PIPE GAS RELIEF VENTS TO OUTSIDE:

| | | | | | | |
|----------------|--------------|----|--------|--------|----|----|
| FUEL LINE DIA. | UP TO 1-1/2" | 2" | 2-1/2" | 3" | 4" | 5" |
| VENT LINE DIA. | 3/4" | 1" | 1-1/4" | 1-1/4" | 2" | 2" |

PLBG SHEET LIST

| | |
|------|--------------------------------|
| P001 | PLUMBING NOTES AND SYMBOLS |
| P110 | PLBG FLOOR PLAN - GROUND FLOOR |
| P111 | PLBG FLOOR PLAN - LEVEL 1 |
| P200 | PLBG SCHEDULES AND DETAILS |
| P100 | PLBG DEMOLITION PLANS |

SHEET NOTES:

1. REFER TO GENERAL NOTES ON SHEET POOI.

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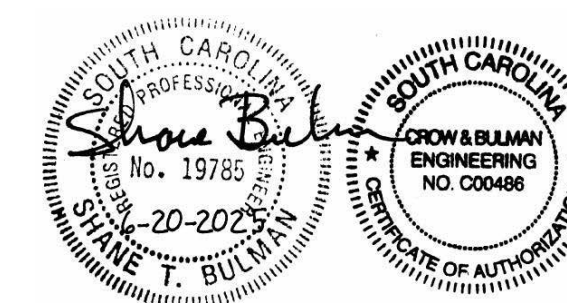


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SHEET NAME:
PLBG DEMOLITION
PLANS

ORIG SUBMISSION: 2025.06.20

SHEET: **P100**

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PLBG DEMOLITION PLAN - GROUND LEVEL

$$3/32'' = 1'-0''$$

PLBG DEMOLITION PLAN - LEVEL 1

$$3/32'' = 1'-0''$$

KEYNOTES

| | |
|-----|---|
| D10 | DEMOLISH FIXTURE, PRESERVE EXISTING SEWER, VENT, CW, AND HW ROUGH-INS. ROUGH-INS TO BE USED WITH NEW FIXTURE. |
| D11 | REMOVE FIXTURE, FIXTURE TO BE REUSED IN A NEW LOCATION. |
| D12 | PRESERVE FIXTURE. |
| D14 | DEMOLISH FIXTURE, CAP AND SEAL ALL ASSOCIATED PIPING. NO NEW FIXTURE IN THIS LOCATION. |
| D16 | DEMOLISH FIXTURE, CAP AND SEAL ASSOCIATED SEWER PIPING BELOW GRADE. REMOVE 1-1/2" VENT BRANCH SERVING FIXTURE, REPLACE TEE WITH ELL, 2" VENT MAIN TO REMAIN IN SERVICE. REMOVE HW AND CW BRANCH PIPING. |
| D17 | DEMOLISH FLOOR DRAIN, CAP AND SEAL ASSOCIATED SEWER PIPING BELOW GRADE. |
| D18 | DEMOLISH FLOOR DRAIN, PRESERVE SEWER BRANCH, NEW HUB DRAIN TO CONNECT TO EXISTING SEWER BRANCH. |
| D19 | DEMOLISH INDICATED SECTION OF 3/4" CW PIPING, CAP AND SEAL AT CW MAIN. |
| D20 | DEMOLISH ALL HW AND HWX PIPING ASSOCIATED WITH EXISTING WH-1. |
| D21 | DEMOLISH ICFMAKER WALL ROW. CAP AND SEAL 1/2" CW FOR VENDING MACHINES AND ICFMAKER IN WALL. |

SHEET NOTES:

1. REFER TO GENERAL NOTES ON SHEET POOL 1.



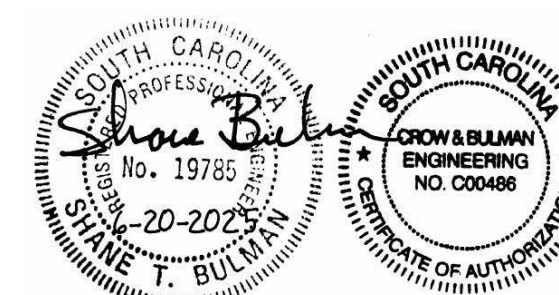


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SHEET NAME:
PLBG FLOOR PLAN
- GROUND FLOOR

ORIG 2025.06.20
SUBMISSION:

SHEET: **P110**

ISSUED FOR CONSTRUCTION



PLBG FLOOR PLAN - GROUND LEVEL

$$1/8'' = 1'-0''$$

SHEET NOTES:

1. REFER TO GENERAL NOTES ON SHEET POO 1

| KEYNOTES  | |
|--|---|
| P1 | CONNECT TO EXISTING PIPE. FIELD VERIFY LOCATION AND SIZE OF EXISTING PIPE. |
| P2 | MODIFY EXISTING SEWER, VENT, AND CW ROUGH-INS (AS REQUIRED) TO ACCOMMODATE NEW PLUMBING FIXTURE. COORDINATE WALL CUTTING AND PATCHING WITH GC. |
| P3 | DISHWASHER IN ADJACENT CABINET: PROVIDE DISHWASHER TAILPIECE AND HW SUPPLY STOP AT SINK FOR DISHWASHER CONNECTIONS. CONNECT DISHWASHER TO HW SUPPLY AND DRAIN BELOW SINK. |
| P4 | CONNECT 1-1/2" VENT TO EXISTING 1-1/2" VENT. |
| P5 | CONNECT SEWER TO EXISTING 3" SEWER. |
| P6 | CONNECT NEW HW AND HWR PIPING TO EXISTING WATER HEATER WH-1 AND EXISTING CIRCULATOR. INSTALL HOT WATER MIXING VALVE ON EXISTING WATER HEATER. SEE DETAIL ON SHEET P200. |
| P7 | COORDINATE EXACT FLOOR DRAIN LOCATION WITH ICEMAKER DRAIN LOCATION. |
| P8 | ACCESS DOOR FOR MECHANICAL AND PLUMBING, COORDINATE DOOR LOCATION WITH MECHANICAL CONTRACTOR. |
| P9 | REPLACE EXISTING FLOOR DRAIN GRATE WITH NEW GRATE. EXISTING FLOOR DRAIN TO BE REUSED. COORDINATE WITH ARCHITECTURAL DRAWINGS AND A.C. |

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SHEET NAME:
PLBG FLOOR PLAN
- LEVEL 1

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SHEET: **P111**

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PLBG FLOOR PLAN - LEVEL 1
1/8" = 1'-0"

| KEYNOTES | |
|----------|--|
| P2 | MODIFY EXISTING SEWER, VENT, AND CW ROUGH-IN(S) REQUIRED) TO ACCOMMODATE NEW PLUMBING FIXTURE. COORDINATE WALL CUTTING AND PATCHING WITH GC. |
| P6 | ACCESS DOOR FOR MECHANICAL AND PLUMBING, COORDINATE DOOR LOCATION WITH MECHANICAL CONTRACTOR. |
| P9 | REPLACE EXISTING FLOOR DRAIN GRATE WITH NEW GRATE. EXISTING FLOOR DRAIN TO BE REUSED. COORDINATE WITH ARCHITECTURAL DRAWINGS AND G.C. |

SHEET NOTES:

1. REFER TO GENERAL NOTES ON SHEET POOL 1.

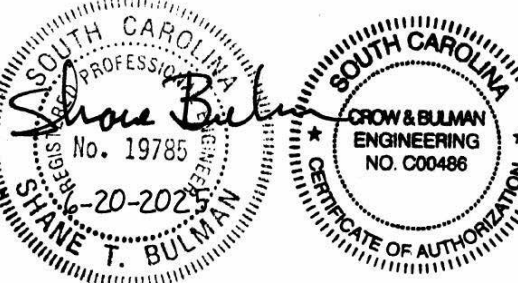
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IS3P PROJECT: Delivery Order Project Number: H59-6288-IM

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SHEET NAME:
HVAC NOTES AND
SYMBOLS






































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SYMBOLS:

| | |
|---|---|
| — STM — | STEAM SUPPLY |
| — SCR — | STEAM CONDENSATE RETURN |
| — HCWS — | HOT & CHILLED WATER SUPPLY |
| — HCWR — | HOT & CHILLED WATER RETURN |
| — HPS — | HEAT PUMP SUPPLY |
| — HPR — | HEAT PUMP RETURN |
| — CWS — | CHILLED WATER SUPPLY |
| — CWR — | CHILLED WATER RETURN |
| — CHS — | CHILLER SUPPLY |
| — CHR — | CHILLER RETURN |
| — CDS — | CONDENSER SUPPLY |
| — CDR — | CONDENSER RETURN |
| — HWS — | HOT WATER SUPPLY |
| — HWR — | HOT WATER RETURN |
| — D — | DRAIN |
| — G — | GAS |
|  | GATE VALVE |
|  | CHECK VALVE |
|  | GLOBE VALVE |
|  | BALL VALVE (2" AND SMALLER) |
|  | CONTROL VALVE |
|  | BUTTERFLY VALVE (2-1/2" AND LARGER) |
|  | REDUCER |
|  | UNION |
|  | GAUGE COCK |
|  | PRESSURE GAUGE |
|  | THERMOMETER WITH WELL |
|  | THERMOSTAT |
|  | HUMIDISTAT |
|  | CO ₂ SENSOR |
|  | SUPPLY AIR (S.A.) |
|  | RETURN AIR (R.A.) |
|  | EXHAUST AIR |
|  | RELIEF AIR |
| AD | ACCESS DOOR |
| FD | FIRE DAMPER |
| — V — | VENT |
|  | STRAINER |
| F/SD | FIRE & SMOKE DAMPER |
|  | CIRCUIT SETTER |
|  | TEMP/PRESS SENSING PORT |
| — R — | REFRIGERANT LINES |
|  | MOTORIZED DAMPER |
|  | TRIPLE DUTY VALVE |
|  | PRESSURE REDUCING VALVE |
|  | FLEXIBLE COUPLING |
|  | MANUAL AIR VENT |
|  | AUTOMATIC AIR VENT |
|  | AUTO FLOW VALVE |
|  | SMOKE DETECTOR |
|  | REFRIGERANT SENSOR; 1/2" AFF |
|  | DIFFERENTIAL PRESS. SENSOR |
|  | STATIC PRESSURE SENSOR |
| FO | FLAT OVAL |
| HBB | HOSE BIBB |
|  | FLOW MEASURING STATION |
| O/H | OVERHEAD |
| U/G | UNDERGROUND |
| VD | VOLUME DAMPER |
| CO | CLEAN OUT |
|  | DUAL WALL SPIRAL DUCTWORK |
|  | SINGLE WALL SPIRAL DUCTWORK |
|  | FABRIC DUCTWORK (SEE SPECIFICATIONS) |
|  | DUCTWORK WITH SOUND TREATMENT WRAP (SEE SPECIFICATIONS) |

GENERAL NOTES:

- SEE SPECIFICATIONS FOR SUBSTITUTE EQUIPMENT MANUFACTURERS. REFER TO GENERAL SPECIFICATIONS SECTION 0012500 FOR SUBSTITUTION PROCEDURES.
2. PROVIDE ACCESS DOORS AT EACH MOTORIZED DAMPER AND EACH FIRE DAMPER NOT ACCESSIBLE FROM A GRILLE; SEE SPECS FOR SIZE.
3. WHERE DUCTS CONNECT TO TOP OF CHASE: SEAL AIR TIGHT
4. PIPE CONDENSATE DRAINS TO NEAREST FLOOR DRAIN OR HUB DRAIN.
5. PROVIDE 27" MIN CLEARANCE AT FILTER HOUSINGS FOR FILTER REMOVAL
6. SEE ARCH. DWGS FOR EXACT LOUVER AND BRICK VENT LOCATIONS.
7. RUN ALL PIPING AND DUCTWORK MINIMUM 6'-8" CLEAR ABOVE MECHANICAL PLATFORM FLOOR. COORDINATE WITH ENGINEER WHERE NOT POSSIBLE.
8. FIELD COORDINATE ROUTING OF DUCTWORK PRIOR TO DUCTWORK FABRICATION.
9. SLOPE ALL CONDENSATE LINES MIN. 1/8" PER FOOT.
10. MINIMUM BRANCH CONDENSATE LINE SIZE SHALL BE 1" UNLESS NOTED OTHERWISE ON PLANS.
11. PROTECT ALL FLOOR PENETRATIONS FOR 2 HR. MIN. FIRE RATING.
12. SEE ARCH. DWGS FOR EXACT SIDEWALL REGISTER AND GRILL ELEVATION & LOCATION.
13. BLANK OFF UNUSED LOUVER WITH SHEET METAL AND 1" THICK, G PCF FOIL-FACED DUCT BOARD.
14. MAXIMUM LENGTH OF FLEXIBLE DUCTWORK AT END OF BRANCH DUCTWORK SHALL BE 5'-0" (SUPPLY DUCT SYSTEMS ONLY)
15. CONCRETE HOUSEKEEPING PADS SHALL BE BY OTHER DIVISIONS, SEE "A" DWGS.
16. WHERE HVAC PIPING IS INDICATED TO TERMINATE WITH A BLIND FLANGE, PROVIDE A HOSE BIB IN THE BLIND FLANGE. (HOSE BIB IS TO BE USED TO CROSS-CONNECT PIPING FOR CIRCULATION DURING CHEMICAL TREATMENT.)
17. HVAC CONTRACTOR TO COORDINATE EXACT LOCATION OF DUCT WORK WITH GENERAL CONTRACTOR (PRIOR TO FABRICATION) TO AVOID POTENTIAL CONFLICT WITH SOUND WALLS EXTENDED TO THE DECK, ETC..
18. ROOF CURBS FOR ALL ROOF EQUIPMENT SHALL BE FURNISHED AND INSTALLED BY MECHANICAL CONTRACTOR. ROOFER TO FLASH AND SEAL ROOFING TO CURB. PROVIDE CURB INSIDE AND OUTSIDE DIMENSIONS TO ROOF MFR.
19. DUCTWORK COORDINATION:
- FIELD COORDINATE ROUTING OF DUCTWORK PRIOR TO DUCTWORK FABRICATION.
 - WHERE DUCTWORK IS ROUTED THROUGH OR BETWEEN TRUSSES, CONSTRUCT DUCT SECTION LENGTHS TO ALLOW INSTALLATION IN TRUSSES.
 - COORDINATE DUCTWORK ROUTED THROUGH (OR BETWEEN) TRUSSES WITH STRUCTURAL ROOF TRUSS SHOP DRAWINGS. COORDINATE/VERIFY THAT INTERNAL MEMBERS OF NEW TRUSSES HAVE BEEN DESIGNED TO ALLOW FOR DUCT ROUTING. COORDINATE WITH G.C. WHERE EXISTING ROOF TRUSSES REQUIRE MODIFICATION TO ROUTE DUCTWORK.
20. CLEANOUTS FOR UNDERGROUND PIPING PIPING OUTSIDE THE BUILDING SHALL BE A RECESSED FLUSH IN A THREADED HUB, FLUSH IN A 18"x18"X4" OR 18" DIAMETER CONCRETE PAD. CONCRETE PAD SHALL BE FORMED AND POURED WITH TOP FLUSH WITH FINISH GRADE BY HVAC CONTRACTOR.
21. PROTECT ALL PENETRATIONS OF NON-FIRE RESISTANCE RATED ASSEMBLIES WITH AN APPROVED NON-COMBUSTIBLE MATERIAL TO RESIST THE PASSAGE OF FLAME AND SMOKE.
22. EXISTING SMOKE EVACUATION SYSTEM TO REMAIN IN SERVICE. SMOKE EVACUATION SYSTEM WILL NOT BE MODIFIED UNDER THIS CONTRACT.
23. WHERE EXISTING DUCTWORK OR PIPING IS REMOVED, WALLS SHALL BE PATCHED AND REPAIRED. COORDINATE LOCATIONS WITH GENERAL CONTRACTOR.
24. WHERE PIPING PENETRATES A RATED WALL, PROTECT PENETRATION WITH UL FIRE PENETRATION ASSEMBLY. SEE DETAILS ON DRAWING M301.
25. PIPE GAS RELIEF VENTS TO OUTSIDE:
BOILERS & WATER HEATERS : (FOR EACH UNIT)
RELIEF VALVES FULL SIZE (EA.), PRV VENT FULL SIZE (EA.), GAS TRAIN VENT SHALL BE SIZED AS FOLLOWS:
- | FUEL LINE DIA. | UP TO 1-1/2" | 2" | 2-1/2" | 3" | 4" | 5" |
|----------------|--------------|----|--------|--------|----|----|
| VENT LINE DIA. | 3/4" | 1" | 1-1/4" | 1-1/2" | 2" | 2" |

| HVAC SHEET LIST | |
|-----------------|-------------------------------------|
| M001 | HVAC NOTES AND SYMBOLS |
| M100 | HVAC DEMOLITION PLAN - GROUND LEVEL |
| M101 | HVAC DEMOLITION PLAN - LEVEL 1 |
| M110 | HVAC FLOOR PLAN - GROUND LEVEL |
| M111 | HVAC FLOOR PLAN - LEVEL 1 |
| M200 | HVAC PIPING PLAN - GROUND LEVEL |
| M201 | HVAC PIPING PLAN - LEVEL 1 |
| M300 | HVAC SCHEDULES |
| M301 | HVAC DETAILS |

SOUND ATTENUATOR SCHEDULE

| SOUND ATTENUATOR SCHEDULE | | | | | | | | | | | | | | | | | | | | |
|---------------------------|-------------------|-----|-------------------|---------------|------------|-------------|-----------------|----------------|-----------------|--|-------|-------|-------|-------|-------|-------|-------|--------------|----------|---------|
| TAG | UNIT SERVED | CFM | AIRFLOW DIRECTION | P.D. in. W.G. | WIDTH (IN) | HEIGHT (IN) | BANK WIDTH (IN) | INLET LEG (IN) | OUTLET LEG (IN) | DYNAMIC INSERTION LOSS (db @ -2000 F.P.M.) | | | | | | | | MANUFACTURER | MODEL | REMARKS |
| | | | | | | | | | | 63Hz | 125Hz | 250Hz | 500Hz | 1K Hz | 2K Hz | 4K Hz | 8K Hz | | | |
| 5A-1 | SOUND TRAP IN G35 | 340 | REVERSE | 0.03 | 12.0 | 12.0 | 12.0 | 42.0 | 42.0 | 10 | 17 | 34 | 43 | 50 | 48 | 42 | 34 | PRICE | ERM721/E | |

NOTES:

- PERFORMANCE DATA IS DERIVED FROM TEST DATA IN CONFORMANCE WITH ASTM-E477-2
- SILENCERS CONSIST OF ASTM-A653(M) STEEL CASINGS AND LINERS.
- SEE GENERAL NOTES AND SPECIFICATIONS FOR SUBSTITUTE EQUIPMENT.

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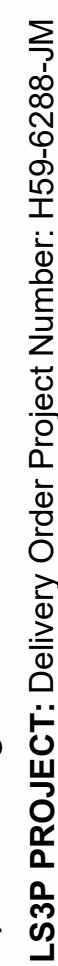
| KEYNOTES | |
|----------|---|
| D1 | DEMOLISH TERMINAL UNIT AND ALL ASSOCIATED BRANCH DUCTWORK AND PIPING. PRESERVE HIGH PRESSURE SUPPLY DUCT MAIN UNLESS OTHERWISE INDICATED. ON DEMOLITION PLANS, CAP AND PRESURE SEAL ALL OPENINGS IN HIGH PRESSURE SUPPLY MAIN, DUCT TO REMAIN IN SERVICE. |
| D3 | DEMOLISH EXISTING EXHAUST AIR DEVICE, PRESERVE EXISTING EXHAUST DUCT SYSTEM. |
| D4 | DEMOLISH INDICATED SECTION OF HIGH PRESSURE SUPPLY DUCTWORK. |
| D5 | PRESERVE EXISTING HIGH PRESSURE SUPPLY DUCTWORK. |
| D6 | PRESERVE EXISTING TRANSFER DUCT. |
| D7 | DEMOLISH EXISTING TERMINAL UNIT. PRESERVE ALL ASSOCIATED BRANCH DUCTWORK AND BRANCH PIPING, BRANCH DUCTWORK AND PIPING TO BE REUSED. |
| D8 | DEMOLISH RETURN REGISTERS AND SECTION OF DUCT INDICATED. PRESERVE REMAINING DUCT AND FIRE/SMOKE DAMPER. LEAVE UNCAPPED. |
| D9 | DEMOLISH TRANSFER DUCT AND ASSOCIATED AIR DEVICES. |
| D22 | DEMOLISH SECTION OF CONDENSATE DRAIN BELOW CEILING LEVEL. |

SHEET NOTES:
1. REFER TO GENERAL NOTES ON SHEET MOO 1.

SHEET:

M100

ISSUED FOR CONSTRUCTION



Tehrune Ground Floor and First Floor Bookstore Renovations

Spartanburg Community College
107 Community College Drive,
Spartanburg, South Carolina 29303

Department, Court Circular 25000
 628 DBO IECT: Delivery Order Project Number: 450 6288 IM

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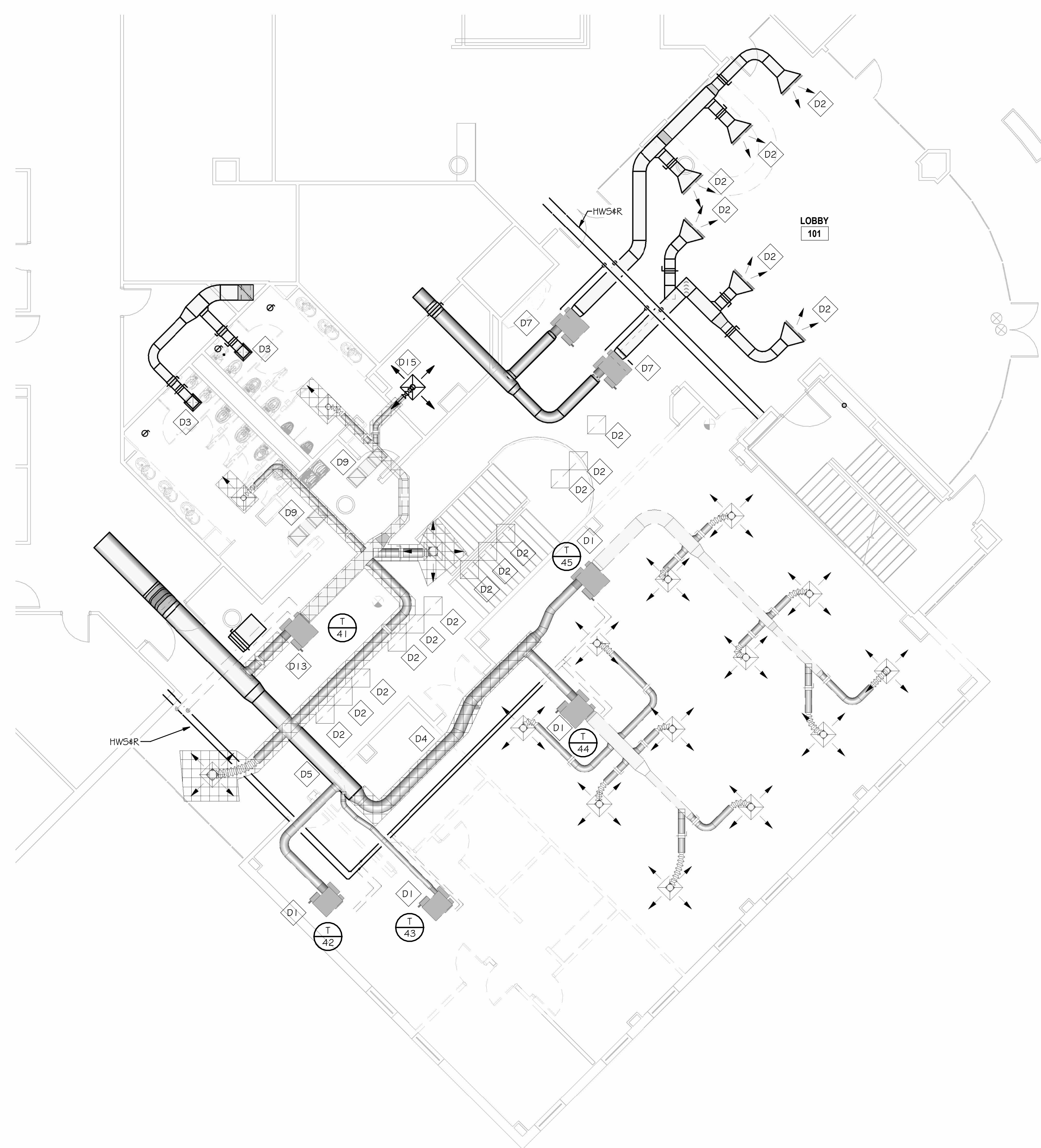
SHEET NAME:
HVAC DEMOLITION
PLAN - LEVEL 1

ORIG 2025.06.20
SUBMISSION:

SHEET:

M101

ISSUED FOR CONSTRUCTION



HVAC DEMOLITION PLAN - LEVEL 1
1/8" = 1'-0"

| KEYNOTES | |
|----------|---|
| D1 | DEMOLISH TERMINAL UNIT AND ALL ASSOCIATED BRANCH DUCTWORK AND PIPING. PRESERVE HIGH PRESSURE SUPPLY DUCT MAIN UNLESS OTHERWISE INDICATED ON DEMOLITION PLANS. CAP AND PRESSURE SEAL ALL OPENINGS IN HIGH PRESSURE SUPPLY MAIN, DUCT TO REMAIN IN SERVICE. |
| D2 | DEMOLISH EXISTING AIR DEVICE. PRESERVE ANY ASSOCIATED DUCTWORK. |
| D3 | DEMOLISH EXISTING EXHAUST AIR DEVICE, PRESERVE EXISTING EXHAUST DUCT SYSTEM. |
| D4 | DEMOLISH INDICATED SECTION OF HIGH PRESSURE SUPPLY DUCTWORK. |
| D5 | PRESERVE EXISTING HIGH PRESSURE SUPPLY DUCTWORK. |
| D7 | DEMOLISH EXISTING TERMINAL UNIT. PRESERVE ALL ASSOCIATED BRANCH DUCTWORK AND BRANCH PIPING, BRANCH DUCTWORK AND PIPING TO BE REUSED. |
| D9 | DEMOLISH TRANSFER DUCT AND ASSOCIATED AIR DEVICES. |
| D13 | DEMOLISH TERMINAL UNIT AND INDICATED BRANCH DUCTWORK AND PIPING. PRESERVE HIGH PRESSURE SUPPLY DUCT MAIN UNLESS OTHERWISE INDICATED ON DEMOLITION PLANS. CAP AND PRESSURE SEAL ALL OPENINGS IN HIGH PRESSURE SUPPLY MAIN, DUCT TO REMAIN IN SERVICE. |
| D15 | PRESERVE EXISTING AIR DEVICE AND ASSOCIATED BRANCH DUCTWORK TO BE USED IN NEW CONSTRUCTION |

SHEET NOTES:

1. REFER TO GENERAL NOTES ON SHEET MOO1.



THE LINE SHOWN ABOVE IS EXACTLY ONE FOOT LONG. DIMENSIONS ARE IN FEET AND INCHES. DIMENSIONS ARE SHOWN IN FEET AND INCHES.

E

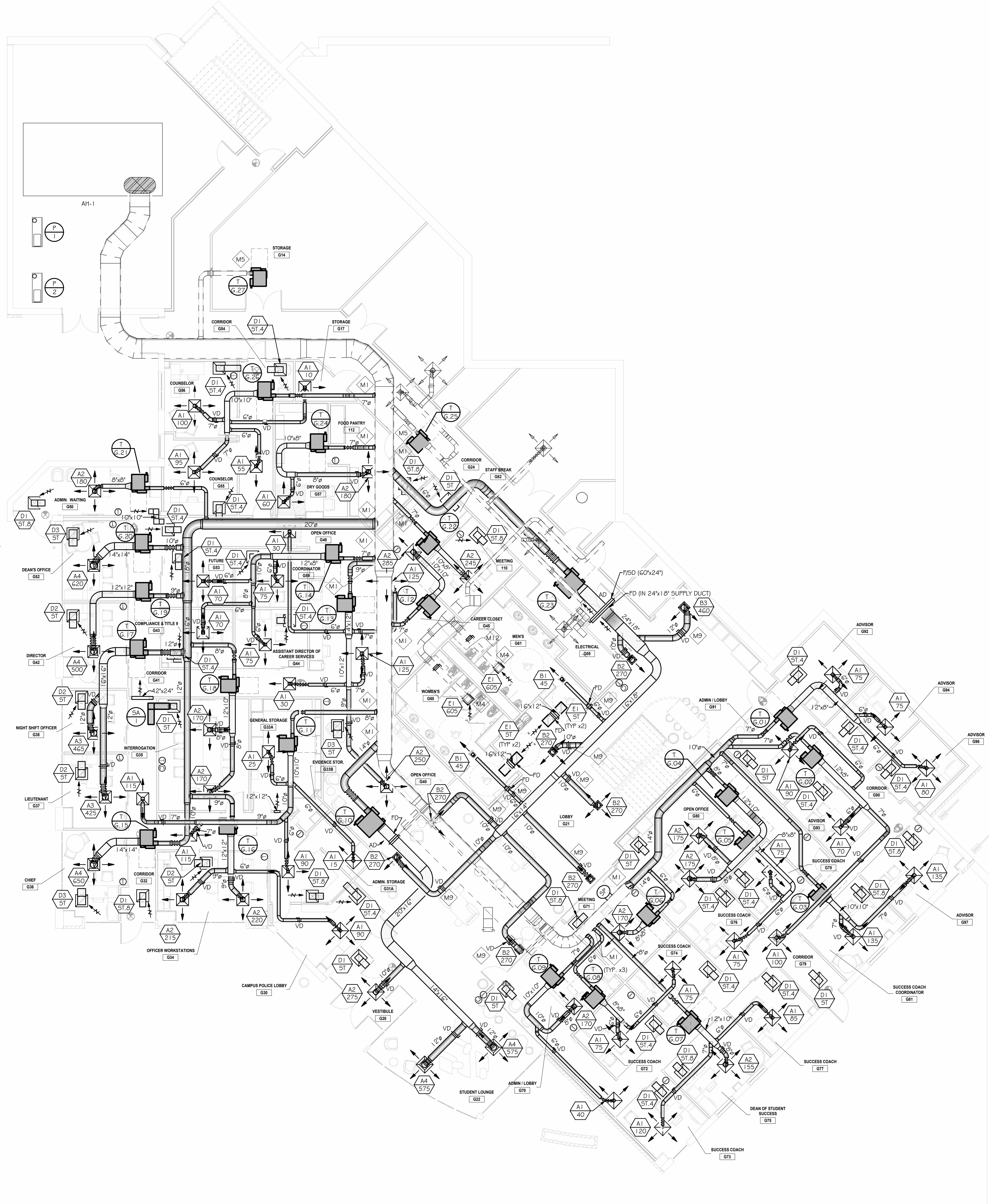
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C

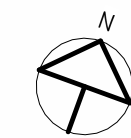
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HVAC FLOOR PLAN - GROUND LEVEL
1/8" = 1'-0"



SHEET NOTES:

1. REFER TO GENERAL NOTES ON SHEET MOO1.

| KEYNOTES | |
|----------|--|
| M1 | CONNECT TO EXISTING HIGH PRESSURE SUPPLY DUCT MAIN. |
| M4 | CONNECT NEW AIR DEVICE TO EXISTING DUCTWORK. |
| M5 | CONNECT NEW TERMINAL UNIT TO EXISTING DUCTWORK. |
| M9 | LOCATE MANUAL BALANCING DAMPER WHERE IT WILL BE ACCESSIBLE FROM EDGE OF HARD CEILING, IGNORE MINIMUM DISTANCE BETWEEN DAMPER AND TAKEOFF IF NECESSARY. |
| M12 | ACCESS DOOR FOR MECHANICAL AND PLUMBING, COORDINATE DOOR LOCATION WITH PLUMBING CONTRACTOR. |

SHEET NAME:
HVAC FLOOR PLAN
- GROUND LEVEL

ORIG SUBMISSION: 2025.06.20

SHEET:

M110

ISSUED FOR CONSTRUCTION

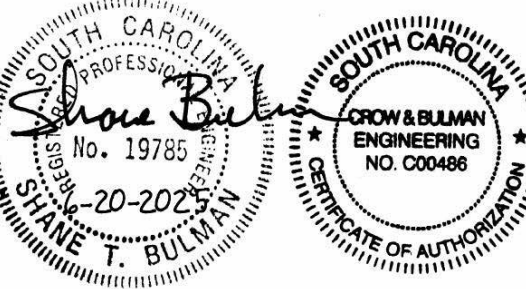


SPARTANBURG
Community College

Spartanburg
Community
College



2 WEST WASHINGTON STREET STE 600
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WWW.LS3P.COM



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Tehrune Ground Floor and
First Floor Bookstore
Renovations

Spartanburg Community College
107 Community College Drive,
Spartanburg, South Carolina 29303

LS3P PROJECT: Delivery Order Project Number: H59-6288-JM

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SHEET NAME:
HVAC FLOOR PLAN
- LEVEL 1

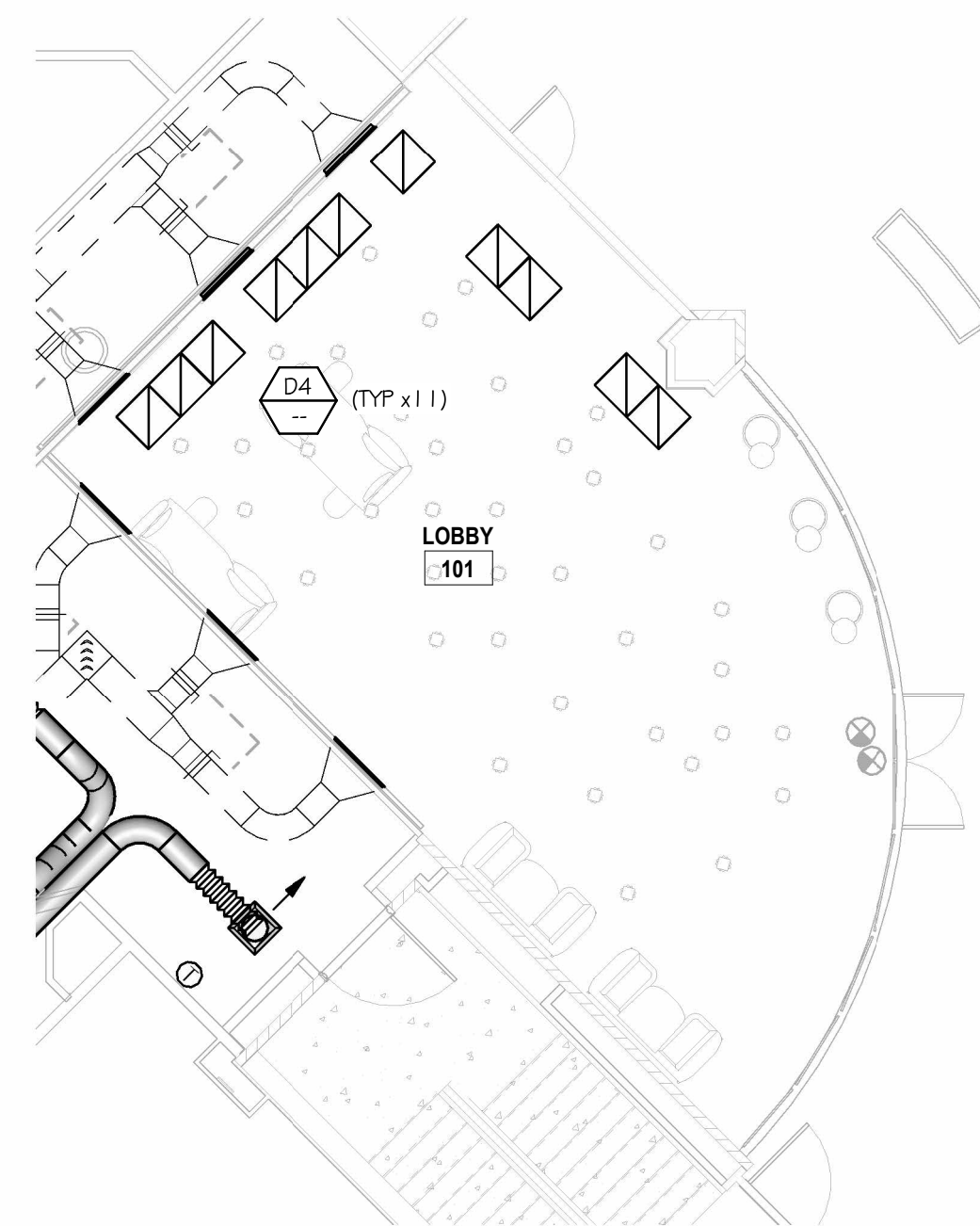
ORIG 2025.06.20
SUBMISSION:

SHEET: **M111**

ISSUED FOR CONSTRUCTION



HVAC FLOOR PLAN - LEVEL 1
1/8" = 1'-0"



HVAC FLOOR PLAN - LOBBY HIGH CEILING
1/8" = 1'-0"

| KEYNOTES | |
|----------|---|
| M1 | CONNECT TO EXISTING HIGH PRESSURE SUPPLY DUCT MAIN. |
| M2 | CONNECT TO EXISTING BRANCH DUCT. |
| M4 | CONNECT NEW AIR DEVICE TO EXISTING DUCTWORK. |
| M5 | CONNECT NEW TERMINAL UNIT TO EXISTING DUCTWORK. |
| M6 | CONNECT TO EXISTING FIRE RATED CHASE. |
| M12 | ACCESS DOOR FOR MECHANICAL AND PLUMBING, COORDINATE DOOR LOCATION WITH PLUMBING CONTRACTOR. |

SHEET NOTES:

1. REFER TO GENERAL NOTES ON SHEET MOO 1

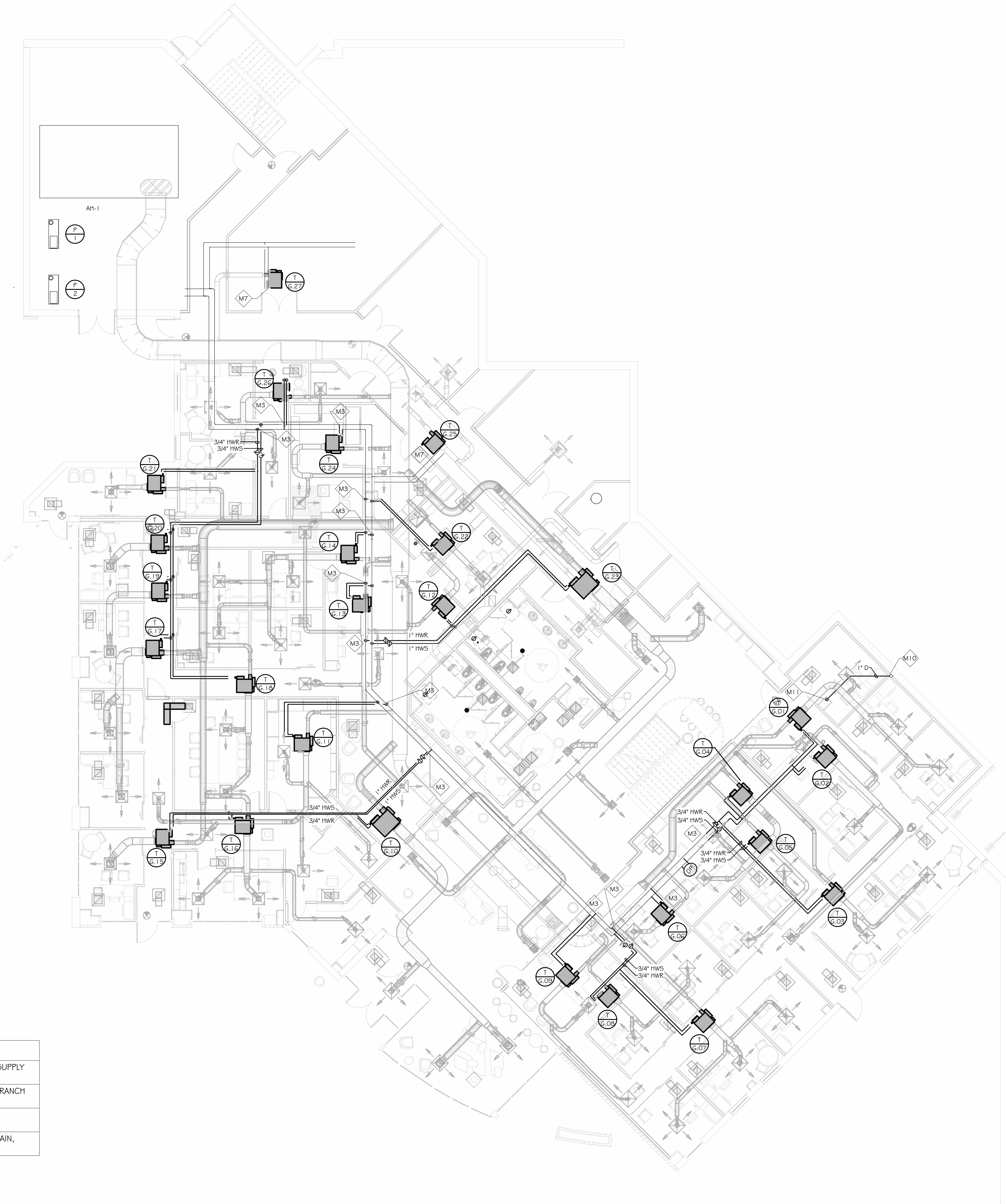
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HEET NAME:
HVAC PIPING PLAN
- GROUND LEVEL

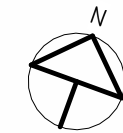
RIG SUBMISSION: 2025.06.20

HEET: **M200**

ISSUED FOR CONSTRUCTION



HVAC PIPING PLAN - GROUND LEVEL



SHEET NOTES:

1. REFER TO GENERAL NOTES ON SHEET MOO1.

THE LINE SHOWN ABOVE IS EXACTLY
ONE INCH LONG AT THIS SHEETS
ORIGINAL PAGE SIZE

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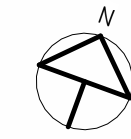
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6



A

3. THE CONTRACTOR SHALL COORDINATE DEVICE LOCATIONS WITH THE POWER AND SYSTEMS DRAWINGS. IN AREAS WHERE A RECEPTACLE AND DATA OUTLET ARE SHOWN IN APPROXIMATELY THE SAME LOCATION, BOTH DEVICES SHALL BE MOUNTED ADJACENT AND AT THE SAME HEIGHT WITH A MAXIMUM OF 1/2 INCH BETWEEN THE EDGE OF COVER PLATES. DEVICES SHOWN IN THE SAME APPROXIMATE LOCATION BUT AT DIFFERENT ELEVATIONS, SUCH AS A FIRE ALARM STROBE AND FIRE ALARM PULL BOX OR FIRE ALARM STROBE AND RECEPTACLE, SHALL BE MOUNTED IN VERTICAL ALIGNMENT TO EACH OTHER AT THE REQUIRED MOUNTING HEIGHT.

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A

NOTES:


1. COORDINATE LED COLOR TEMPERATURE WITH ARCHITECT/OWNER PRIOR TO PURCHASING AND INSTALLING.
2. COORDINATE FINISHES WITH ARCHITECT/OWNER PRIOR TO PURCHASING AND INSTALLING.
3. COORDINATE MOUNTING HEIGHT WITH ARCHITECT/OWNER PRIOR TO PURCHASING AND INSTALLING.
4. LIGHTING FIXTURES MANUFACTURER SHALL BE PROVIDED AS SPECIFIED, UNLESS PRE-APPROVED DURING BIDDING BY THE ARCHITECT/ENGINEER.
5. BATTERY PACKS FOR ALL EXIT AND EMERGENCY LIGHT FIXTURES SHALL BE CAPABLE OF PROVIDING EMERGENCY POWER TO THE FIXTURES FOR A MINIMUM OF 90 MINUTES.

NOTES:

1. COORDINATE LED COLOR TEMPERATURE WITH ARCHITECT/OWNER PRIOR TO PURCHASING AND INSTALLING.
2. COORDINATE FINISH WITH ARCHITECT/OWNER PRIOR TO PURCHASING AND INSTALLING.
3. COORDINATE MOUNTING HEIGHT WITH ARCHITECT/OWNER PRIOR TO PURCHASING AND INSTALLING.
4. LIGHTING FIXTURES MANUFACTURER SHALL BE PROVIDED AS SPECIFIED, UNLESS PRE-APPROVED DURING BIDDING BY THE ARCHITECT/ENGINEER.
5. BATTERY PACKS FOR ALL EXIT AND EMERGENCY LIGHT FIXTURES SHALL BE CAPABLE OF PROVIDING EMERGENCY POWER TO THE FIXTURES FOR A MINIMUM OF 90 MINUTES.



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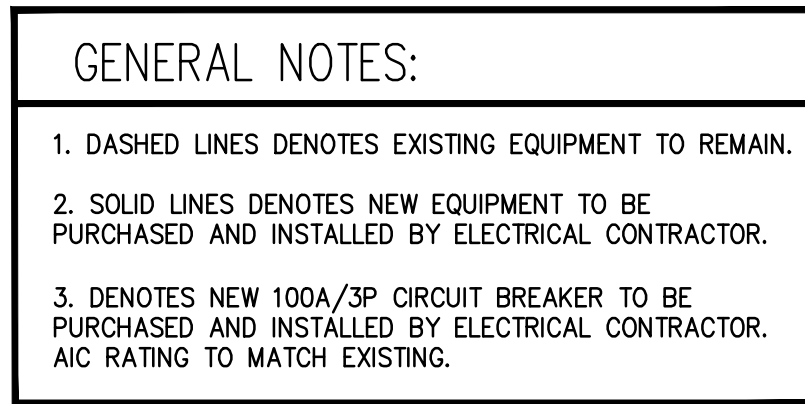
Spartanburg Community College
107 Community College Drive,
Spartanburg, South Carolina 29303

IS3P PRO IECT. 3202-240135

ORIG SUBMISSION: 2025.06.20

E001.1

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OCP

NEW 208/120 VOLT, 100AMP MAIN LUGS ONLY, 3PHASE, 4WIRE
COPPER PLATED BUS, FULLY RATED, 10KAIC

| CKT | Circuit Description | Notes | Trip | Poles | A | B | C | Poles | Trip | Notes | Circuit Description | CKT | |
|-----------------------------|--------------------------------------|-------|------|-------|---------|---------|---------|-------|------|---------|---------------------|-------|----|
| 1 | REC - CHIEF C38 & LIETENANT G37 | | 20 A | 1 | 720 VA | 0 VA | | | 1 | 20 A | SPARE | 2 | |
| 3 | REC - OFFC. G38, DIR. GA2 & DEAN.... | | 20 A | 1 | | 1080 VA | 0 VA | | 1 | 20 A | SPARE | 4 | |
| 5 | REC - COUNSELOR G55 & G56 | | 20 A | 1 | | | | | 1 | 20 A | SPARE | 6 | |
| 7 | REC - FUTURE G53, COMP & TITLE 9 | | 20 A | 1 | 720 VA | 0 VA | | | 1 | 20 A | SPARE | 8 | |
| 9 | REC - ASSIST. DIR. CAREER.... | | 20 A | 1 | | 720 VA | 0 VA | | 1 | 20 A | SPARE | 10 | |
| 11 | REC - OPEN OFFICE G48 | | 20 A | 1 | | | | | 1 | 20 A | SPARE | 12 | |
| 13 | REC - OPEN OFFICE G48 | | 20 A | 1 | 360 VA | 0 VA | | | 1 | 20 A | SPARE | 14 | |
| 15 | REC - DRY GOODS G57 | | 20 A | 1 | | 1000 VA | 0 VA | | 1 | 20 A | SPARE | 16 | |
| 17 | SPARE | | 20 A | 1 | | | | 0 VA | 0 VA | 1 | 20 A | SPARE | 18 |
| 19 | SPARE | | 20 A | 1 | 0 VA | 0 VA | | | 1 | 20 A | SPARE | 20 | |
| 21 | SPARE | | 20 A | 1 | | 0 VA | 0 VA | | 1 | 20 A | SPARE | 22 | |
| 23 | SPARE | | 20 A | 1 | | | | 0 VA | 0 VA | 1 | 20 A | SPARE | 24 |
| 25 | SPARE | | 20 A | 1 | 0 VA | 0 VA | | | 1 | 20 A | SPARE | 26 | |
| 27 | SPARE | | 20 A | 1 | | 0 VA | 0 VA | | 1 | 20 A | SPARE | 28 | |
| 29 | SPARE | | 20 A | 1 | | | | 0 VA | 0 VA | 1 | 20 A | SPARE | 30 |
| 31 | SPARE | | 20 A | 1 | 0 VA | 0 VA | | | 1 | 20 A | SPARE | 32 | |
| 33 | SPARE | | 20 A | 1 | | 0 VA | 0 VA | | 1 | 20 A | SPARE | 34 | |
| 35 | SPARE | | 20 A | 1 | | | | 0 VA | 0 VA | 1 | 20 A | SPARE | 36 |
| 37 | SPARE | | 20 A | 1 | 0 VA | 0 VA | | | 1 | 20 A | SPARE | 38 | |
| 39 | SPARE | | 20 A | 1 | | 0 VA | 0 VA | | 1 | 20 A | SPARE | 40 | |
| 41 | SPARE | | 20 A | 1 | | | | 0 VA | 0 VA | 1 | 20 A | SPARE | 42 |
| Total Load: | | | | | 1800 VA | 2800 VA | 1080 VA | | | | | | |
| Total Amps: | | | | | 16 A | 24 A | 9 A | | | | | | |
| Total Connected Load (VA) | | | | | | | | | | 5680 VA | | | |
| Total Connected Current (A) | | | | | | | | | | 16 A | | | |

Notes:

- ALL CIRCUIT BREAKERS 20 AMPERE, SINGLE POLE, UNLESS NOTED OTHERWISE.
- PROVIDE UPDATED TYPED PANEL SCHEDULE REFLECT ADDITIONS/MODIFICATIONS.
- LEAVE ALL BREAKERS NOTED AS SPARES IN THE OFF POSITION.
- GFI DENOTES GFI TYPE CIRCUIT BREAKER.
- DENOTES RED LOCKING DEVICE ON CIRCUIT BREAKER FOR FIRE ALARM DEVICE.

1CP

EXISTING 208/120 VOLT, 100AMP MAIN CIRCUIT BREAKER, 3PHASE, 4WIRE, 100% NEUTRAL
SQUARE D TYPE NQDD

| CKT | Circuit Description | Notes | Trip | Poles | A | B | C | Poles | Trip | Notes | Circuit Description | CKT | | |
|-----------------------------|------------------------|-------|------|-------|---------|----------|---------|---------|---------|---------|------------------------|-------|------|----|
| 1 | RM 142-144 - COMP REC | | 20 A | 1 | 1000 VA | 1000 VA | | 1 | 20 A | | RM 165-COMP REC | 2 | | |
| 3 | RM 137-140 - COMP REC | | 20 A | 1 | | | | 1 | 20 A | | RM 166 -COMP REC | 4 | | |
| 5 | RM 147 - COMP REC | | 20 A | 1 | | | | | | | RM 168 -COMP REC | 6 | | |
| 7 | RM 146, 148 - COMP REC | | 20 A | 1 | 1000 VA | 1000 VA | | 1 | 20 A | | RM 168 -COMP REC | 8 | | |
| 9 | RM 150, 152 - COMP REC | | 20 A | 1 | | | | 1 | 20 A | | RM 168 -COMP REC | 10 | | |
| 11 | RM 154 - COMP REC | | 20 A | 1 | | | | | | | RM 168 -COMP REC | 12 | | |
| 13 | RM 144-145 - COMP REC | | 20 A | 1 | 1000 VA | 1000 VA | | | 500 VA | 1000 VA | 1 | 20 A | 14 | |
| 15 | RM 155 - COMP REC | | 20 A | 1 | | | | | | | RM 168 -COMP REC | 16 | | |
| 17 | RM 156 - COMP REC | | 20 A | 1 | | | | | | | RM 173 -COMP REC | 18 | | |
| 19 | REC - P.O.S | | 20 A | 1 | 500 VA | 1000 VA | | | 1000 VA | 1000 VA | 1 | 20 A | 20 | |
| 21 | SPARE | | 8 | 20 A | 1 | | 0 VA | 1000 VA | | | RM 172, 175 - COMP REC | 22 | | |
| 23 | SPARE | | 8 | 20 A | 1 | | | | | | RM 176, 177 - COMP REC | 24 | | |
| 25 | SPARE | | 8 | 20 A | 1 | 0 VA | 0 VA | | | 0 VA | 1000 VA | 1 | 20 A | 26 |
| 27 | SPARE | | 8 | 20 A | 1 | | | 0 VA | 0 VA | | | SPARE | 28 | |
| 29 | SPARE | | 8 | 20 A | 1 | | | | | | | SPARE | 30 | |
| 31 | DATA RACK | | 20 A | 1 | 1000 VA | 0 VA | | | | 0 VA | 0 VA | 1 | 20 A | 32 |
| 33 | SPARE | | 20 A | 1 | | | | 0 VA | 0 VA | | | SPARE | 34 | |
| 35 | SPARE | | 20 A | 1 | | | | | 0 VA | 0 VA | 1 | 20 A | 36 | |
| 37 | SPARE | | 20 A | 1 | 0 VA | 0 VA | | | | | | SPARE | 38 | |
| 39 | SPARE | | 20 A | 1 | | | | 0 VA | 0 VA | | | SPARE | 40 | |
| 41 | SPARE | | 20 A | 1 | | | | | 0 VA | 0 VA | 1 | 20 A | 42 | |
| Total Load: | | | | | 8600 VA | 15500 VA | 6500 VA | | | | | | | |
| Total Amps: | | | | | 73 A | 132 A | 54 A | | | | | | | |
| Total Connected Load (VA) | | | | | | | | | | | 30500 VA | | | |
| Total Connected Current (A) | | | | | | | | | | | 85 A | | | |

Notes:

- ALL CIRCUIT BREAKERS 20 AMPERE, SINGLE POLE, UNLESS NOTED OTHERWISE.
- PROVIDE UPDATED TYPED PANEL SCHEDULE REFLECT ADDITIONS/MODIFICATIONS.
- LEAVE ALL ALARMS NOTED AS SPARES IN THE OFF POSITION.
- GFI DENOTES GFI TYPE CIRCUIT BREAKER.
- DENOTES NEW CIRCUIT BREAKER TO BE PURCHASED AND INSTALLED BY ELECTRICAL CONTRACTOR. AIC TO RATING TO MATCH EXISTING.
- DENOTES RED LOCKING DEVICE ON CIRCUIT BREAKER WITH FIRE ALARM DEVICE.
- DARKER COLOR CIRCUIT DENOTES EXISTING BREAKER WITH NEW LOAD FOR RENOVATION. LIGHTER COLOR CIRCUIT DESIGNATIONS DENOTE EXISTING CIRCUITS TO REMAIN.
- DARKER EXISTING CIRCUIT TO BE DISCONNECTED FROM LOAD AND LEFT AS A SPARE.

2CP

EXISTING 208/120 VOLT, 100AMP MAIN CIRCUIT BREAKER, 3PHASE, 4WIRE, 200% NEUTRAL
SQUARE D TYPE NQGD

| CKT | Circuit Description | Notes | Trip | Poles | A | B | C | Poles | Trip | Notes | Circuit Description | CKT |
|-----------------------------|-----------------------|-------|------|-------|---------|---------|---------|-------|------|-------|---------------------------------------|-----|
| 1 | RM 136 - COMP REC | | 20 A | 1 | 1000 VA | 1000 VA | | 1 | 20 A | | RM 119 - COMP REC | 2 |
| 2 | RM 136 - COMP REC | | 20 A | 1 | | 1000 VA | 1000 VA | 1 | 20 A | | RM 113.119 - COMP REC | 4 |
| 5 | RM 132.134 - COMP REC | | 20 A | 1 | | | | | | | RM 116.118 - COMP REC | 6 |
| 7 | RM 128.130 - COMP REC | | 20 A | 1 | 1000 VA | 1000 VA | | 1 | 20 A | | RM 113.114 - COMP REC | 8 |
| 9 | RM 124.126 - COMP REC | | 20 A | 1 | | 1000 VA | 1000 VA | 1 | 20 A | | RM 183 - COMP REC | 10 |
| 11 | RM 120.122 - COMP REC | | 20 A | 1 | | | | | | | RM 109 - ex COMP REC | 12 |
| 13 | RM 125 - COMP REC | | 20 A | 1 | 1000 VA | 820 VA | | 1 | 20 A | | RM 109 - ex COMP REC | 14 |
| 15 | RM 125 - COMP REC | | 20 A | 1 | | 1000 VA | 1000 VA | 1 | 20 A | | RM 109 - COMP REC | 16 |
| 17 | RM 125 - COMP REC | | 20 A | 1 | | | | | | | RM 109 - ex COMP REC | 18 |
| 19 | RM 125 - COMP REC | | 20 A | 1 | 1000 VA | 640 VA | | 1 | 20 A | | RM 109 - ex COMP REC | 20 |
| 21 | RM 125 - COMP REC | | 20 A | 1 | | 1000 VA | 360 VA | 1 | 20 A | | ASSIST. MANAGER 103 - COMP REC | 22 |
| 23 | RM 127 - COMP REC | | 20 A | 1 | | | | | | | RM 106 DIRECTOR'S OFFICE - ex REC | 24 |
| 25 | RM 127 - COMP REC | | 20 A | 1 | 1000 VA | 0 VA | | 1 | 20 A | | SPARE | 26 |
| 27 | RM 127 - COMP REC | | 20 A | 1 | | 1000 VA | 0 VA | 1 | 20 A | | SPARE | 28 |
| 29 | DATA RACK - REC | | 20 A | 1 | | | | | | | SPARE | 30 |
| 31 | DATA RACK - REC | | 20 A | 1 | 1000 VA | 0 VA | | 1 | 20 A | | SPARE | 32 |
| 33 | DATA RACK - REC | | 20 A | 1 | | 1000 VA | 0 VA | 1 | 20 A | | SPARE | 34 |
| 35 | SPARE | | 20 A | 1 | | | | 0 VA | 0 VA | 1 | 20 A | 36 |
| 37 | SPARE | | 20 A | 1 | 0 VA | 0 VA | | | | 1 | 20 A | 38 |
| 39 | SPARE | | 20 A | 1 | | 0 VA | 0 VA | | | 1 | 20 A | 40 |
| 41 | SPARE | | 20 A | 1 | | | | 0 VA | 0 VA | 1 | 20 A | 42 |
| Total Load: | | | | | 9460 VA | 9360 VA | 7820 VA | | | | | |
| Total Amps: | | | | | 81 A | 80 A | 65 A | | | | | |
| Total Connected Load (VA) | | | | | | | | | | | 28640 VA | |
| Total Connected Current (A) | | | | | | | | | | | 74 A | |

Notes:

- ALL CIRCUIT BREAKERS 20 AMPERE, SINGLE POLE, UNLESS NOTED OTHERWISE.
- PROVIDE UPDATED TYPED PANEL SCHEDULE REFLECT ADDITIONS/MODIFICATIONS.
- LEAVE ALL BREAKERS NOTED AS SPARES IN THE OFF POSITION.
- GFI DENOTES GFI TYPE CIRCUIT BREAKER.
- DENOTES NEW CIRCUIT BREAKER TO BE PURCHASED AND INSTALLED BY ELECTRICAL CONTRACTOR. AIC TO RATING TO MATCH EXISTING.
- DENOTES RED LOCKING DEVICE ON CIRCUIT BREAKER FOR FIRE ALARM DEVICE.
- DARKER COLOR CIRCUIT DESIGNATIONS DENOTE NEW CIRCUITS FOR RENOVATION, LIGHTER COLOR CIRCUIT DESIGNATIONS DENOTE EXISTING CIRCUITS TO REMAIN.
- DENOTES EXISTING CIRCUIT TO BE DISCONNECTED FROM LOAD AND LEFT AS A SPARE.

1RP

EXISTING 208/120 VOLT, 150AMP MAIN CIRCUIT BREAKER, 3PHASE, 4WIRE
SQUARE D TYPE NQ00

| CKT | Circuit Description | Notes | Trip | Poles | A | B | C | Poles | Trip | Notes | Circuit Description | CKT | | |
|-----------------------------|-------------------------------|-------|------|-------|----------------|-----------------|----------------|-------|-------|-------|---------------------------------|-----|----------|--|
| 1 | REC - RM G08, G09, G10 | 20 A | 1 | | 720 VA 1260 VA | 500 VA 500 VA | 1 | 20 A | | | RM G08, G09 REC | 1 | | |
| 3 | ELEVATOR CAR LIGHTS | — | 1 | | | | | 20 A | 4.5 | | REC - EWC LOBBY G21 | 2 | | |
| 5 | SPACE | — | 1 | | | | 500 VA | 1 | 20 A | | TOILET ELECTRONIC FLUSH | 6 | | |
| 7 | ELEVATOR PIT POWER | 20 A | 1 | | 900 VA 500 VA | | | 1 | 20 A | | TOILET ELECTRONIC FLUSH | 8 | | |
| 9 | REC - ADVISOR G92 | 20 A | 1 | | | 1080 VA 500 VA | | 1 | 20 A | | CLOCK RECEPT-GND, 1ST FLTR | 10 | | |
| 11 | REC - ADVISOR G94 | 20 A | 1 | | | | 900 VA 1400 VA | 1 | 20 A | | REC - MEETING G71 | 12 | | |
| 13 | REC - ADVISOR G96 | 20 A | 1 | | 900 VA 720 VA | | | 1 | 20 A | | REC - LOBBY G70 | 14 | | |
| 15 | REC - LOBBY G81 & ADVISOR G93 | 20 A | 1 | | | 1800 VA 1500 VA | | 1 | 20 A | | REC - LOBBY G21 - MARKET POD | 16 | | |
| 17 | REC - ADVISOR G97 | 20 A | 1 | | | | 720 VA 1500 VA | 1 | 20 A | | REC - LOBBY G21 - MARKET POD | 18 | | |
| 19 | REC - SUCCESS COACH, G81 | 20 A | 1 | | 900 VA 1500 VA | | | 1 | 20 A | | REC - LOBBY G21 - MARKET POD... | 20 | | |
| 21 | REC - SUCCESS COACH, G77 | 20 A | 1 | | | 900 VA 0 VA | | 1 | 20 A | | SPARE | 22 | | |
| 23 | REC - DEAN STD SUCC, G75 | 20 A | 1 | | | | 900 VA 360 VA | 1 | 20 A | | REC - LOBBY G21 - STAIRS WALL | 24 | | |
| 25 | REC - SUCCESS COACH G73 | 20 A | 1 | | 720 VA 1000 VA | | | 1 | 20 A | | TV - LOBBY G21 | 26 | | |
| 27 | REC - SUCCESS COACH G72 | 20 A | 1 | | | 900 VA 540 VA | | 1 | 20 A | | FLOOR BOXES - LOBBY G21 | 28 | | |
| 29 | REC - SUCCESS COACH G74 | 20 A | 1 | | | | 720 VA 360 VA | 1 | 20 A | | FLOOR REC - STUDENT LOUNGE G22 | 30 | | |
| 31 | REC - SUCCESS COACH G76 | 20 A | 1 | | 720 VA 300 VA | | | 1 | 20 A | | VAV TERMINAL SHUTDOWN GRND... | 32 | | |
| 33 | REC - SUCCESS COACH G78 | 20 A | 1 | | | 900 VA 0 VA | | 1 | 20 A | | SPARE | 34 | | |
| 35 | REC - OPEN OFFICE G80 | 20 A | 1 | | | | 1260 VA 0 VA | 1 | 20 A | | SPARE | 36 | | |
| 39 | RM G01 - REC | 20 A | 1 | | 720 VA 1800 VA | 540 VA 2800 VA | | | | | | | 38 | |
| 41 | MICROWAVE | 20 A | 1 | | | | 800 VA 1080 VA | 3 | 100 A | 5 | 0CP - NEW PANEL | 40 | | |
| Total Load: | | | | | 12660 VA | 12460 VA | 10500 VA | | | | | | 35620 VA | |
| Total Amps: | | | | | 108 A | 106 A | 88 A | | | | | | 99 A | |
| Total Connected Load (VA) | | | | | | | | | | | 35620 VA | | | |
| Total Connected Current (A) | | | | | | | | | | | 99 A | | | |

Notes:

1. ALL CIRCUIT BREAKERS 20 AMPERE, SINGLE POLE, UNLESS NOTED OTHERWISE.

2. PROVIDE UPDATED TYPED PANEL SCHEDULE REFLECT ADDITIONS/MODIFICATIONS.

3. LEAVE ALL BREAKERS NOTED AS SPARES IN THE OFF POSITION.

4. GFI DENOTES GFI TYPE CIRCUIT BREAKER.

5. DENOTES NEW CIRCUIT BREAKER TO BE PURCHASED AND INSTALLED BY ELECTRICAL CONTRACTOR. AIC TO RATING TO MATCH EXISTING.

6. DENOTES RED LOGGING DEVICE ON CIRCUIT BREAKER FOR FIRE ALARM DEVICE.

7. DARKER COLOR CIRCUIT DENOTES EXISTING BREAKER WITH NEW LOAD FOR RENOVATION. LIGHTER COLOR CIRCUIT DESIGNATIONS DENOTE EXISTING CIRCUITS TO REMAIN.

2RP

EXISTING 208/120 VOLT, 150AMP MAIN CIRCUIT BREAKER, 3PHASE, 4WIRE
SQUARE D TYPE NOQ0

| CKT | Circuit Description | Notes | Trip | Poles | A | | B | | C | | Poles | Trip | Notes | Circuit Description | CKT |
|-----------------------------|-------------------------------|-------|------|-------|----------|---------|---------|---------|----------|----------|-------|------|---------------------|---------------------------------|-----|
| 1 | OFFICES 141-142 - REC | | 20 A | 1 | 1080 VA | 1260 VA | | | 1 | 20 A | 1 | 20 A | | OFFICES 170-171 - REC | 2 |
| 2 | OFFICE 140-103R 138,141 - REC | | 20 A | 1 | | | 720 VA | 720 VA | | 1 | 20 A | 1 | 20 A | OFFICE 175 - REC | 4 |
| 5 | OFFICE 146,148 - REC | | 20 A | 1 | | | | | 1260 VA | 1260 VA | 1 | 20 A | 20 A | TUTOR'S RMS 176,177,178 - REC | 6 |
| 7 | COPIER - RM 145 | | 20 A | 1 | 1000 VA | 1260 VA | | | | | 1 | 20 A | 20 A | CONFERENCE 179 - REC | 8 |
| 9 | RM 109,145 - REC | | 20 A | 1 | | | 1080 VA | 360 VA | | | 1 | 20 A | 20 A | WORKSTATION 156 - REC | 10 |
| 11 | OFFICE 137 - REC | | 20 A | 1 | | | | | 720 VA | 675 VA | 1 | 20 A | 20 A | FC - 2,4,6 | 12 |
| 13 | OFFICES 150,152 - REC | | 20 A | 1 | | 1260 VA | 360 VA | | | | 1 | 20 A | 20 A | REC - MANAGER 105 | 14 |
| 15 | OFFICE 154 - REC | | 20 A | 1 | | | 900 VA | 360 VA | | | 1 | 20 A | 20 A | REC COUNTERTOP - WORK ROOM... | 16 |
| 17 | STORAGE 153 - REC | | 20 A | 1 | | | | | 1080 VA | 1000 VA | 1 | 20 A | 20 A | REC COPIER - WORK ROOM 104 | 18 |
| 19 | OFFICE 165,166 - REC | | 20 A | 1 | 1080 VA | 360 VA | | | 1 | 20 A | 20 A | 20 A | REC - WORK ROOM 104 | 20 | |
| 21 | WORK RM 163 - REC | | 20 A | 1 | | | 720 VA | 360 VA | | | 1 | 20 A | 20 A | REC - ASSIST. MANAGER 103 | 22 |
| 23 | COPIER - RM 163 | | 20 A | 1 | | | | | 1000 VA | 500 VA | 1 | 20 A | 20 A | BOX SIGN | 24 |
| 25 | WORK RM 163, 167 - REC | | 20 A | 1 | | 900 VA | 1000 VA | | | | 1 | 20 A | 4,5 | REC - FUDGE BKSTR 102 | 26 |
| 27 | RM 174,178 - REC | | 20 A | 1 | | | 900 VA | 1000 VA | | | 1 | 20 A | 4,5 | REC - VENDING MACHINE BKSTR 102 | 28 |
| 29 | COPIER - RM 168 | | 20 A | 1 | | | | | 1000 VA | 720 VA | 1 | 20 A | 20 A | FLOOR REC BKSTR 102 | 30 |
| 31 | TUTOR RM 173, RM 172 - REC | | 20 A | 1 | 900 VA | 1000 VA | | | 1 | 20 A | 1 | 20 A | TV - LOBBY 101 | 32 | |
| 33 | VAV TERMINAL SHUTDOWN | | 20 A | 1 | | | 300 VA | 360 VA | | | 1 | 20 A | 20 A | REC - WELCOME/RECEPTION 106 | 34 |
| 35 | SPARE | | 20 A | 1 | | | | | 0 VA | 720 VA | 1 | 20 A | 20 A | REC - WELCOME/RECEPTION 106 | 36 |
| 37 | SPARE | | 20 A | 1 | 0 VA | 360 VA | | | | | 1 | 20 A | 20 A | REC - LOBBY 101 | 38 |
| 39 | SPARE | | 20 A | 1 | | | 0 VA | 360 VA | | | 1 | 20 A | 20 A | REC - BOOKSTORE 102 | 40 |
| 41 | SPARE | | 20 A | 1 | | | | | 0 VA | 720 VA | 1 | 20 A | 20 A | FLOOR REC - SALES DESK | 42 |
| Total Load: | | | | | 11820 VA | | 8140 VA | | 10655 VA | | | | | | |
| | | | | | 102 A | | 68 A | | 92 A | | | | | | |
| Total Connected Load (VA) | | | | | | | | | | 30615 VA | | | | | |
| Total Connected Current (A) | | | | | | | | | | 85 A | | | | | |

Notes:

- ALL CIRCUIT BREAKERS 20 AMPERE, SINGLE POLE, UNLESS NOTED OTHERWISE.
- PROVIDE UPDADED TYPED PANEL SCHEDULE REFLECT ADDITIONS/MODIFICATIONS.
- LEAVE ALL BREAKERS NOTED AS SPARES IN THE OFF POSITION.
- GFI DENOTES GFI TYPE CIRCUIT BREAKER.
- DENOTES NEW CIRCUIT BREAKER TO BE PURCHASED AND INSTALLED BY ELECTRICAL CONTRACTOR. AIC TO RATING TO MATCH EXISTING.
- DENOTES RED LOCKING DEVICE ON CIRCUIT BREAKER FOR FIRE ALARM DEVICE.
- DARKER COLOR CIRCUIT DENOTES EXISTING BREAKER WITH NEW LOAD FOR RENOVATION. LIGHTER COLOR CIRCUIT DESIGNATIONS DENOTE EXISTING CIRCUITS TO REMAIN.

3RP

EXISTING 208/120 VOLT, 150AMP MAIN CIRCUIT BREAKER, 3PHASE, 4WIRE
SQUARE D TYPE NQOD

| CKT | Circuit Description | Notes | Trip | Poles | A | B | C | Poles | Trip | Notes | Circuit Description | CKT | |
|-----------------------------|-------------------------|-------|------|-------|---------|---------|---------|---------|---------|-------|------------------------|--------------------------|----|
| 1 | CONF 126 - REC | | 20 A | 1 | 720 VA | 720 VA | | 1 | 20 A | | REC - LOBBY 101 | 2 | |
| 3 | OFFICE 122-124 - REC | | 20 A | 1 | | 1080 VA | 540 VA | | 1 | 20 A | RM 104-108 - REC | 4 | |
| 5 | OFFICE 126,128 - REC | | 20 A | 1 | | | | 1260 VA | 680 VA | 1 | 20 A | REC & TV - BOOKSTORE 102 | 6 |
| 7 | OFFICE 130,132 - REC | | 20 A | 1 | 1260 VA | 0 VA | | | | 1 | 20 A | S-PARE | 8 |
| 9 | OFFICE 134,136 - REC | | 20 A | 1 | | 1260 VA | 360 VA | | 1 | 20 A | REGISTRATION 109 - REC | 10 | |
| 11 | STAIRWELL, OUTSIDE | | 20 A | 1 | | | | 360 VA | 720 VA | 1 | 20 A | REGISTRATION 109 - REC | 12 |
| 13 | RM 125,121,131 - REC | | 20 A | 1 | 720 VA | 540 VA | | | | 1 | 20 A | OUTSIDE, STAIRWELL | 14 |
| 15 | COPYR - 122 | | 20 A | 1 | | 1000 VA | 900 VA | | | 1 | 20 A | RM 113,184,117 - REC | 16 |
| 17 | RM 158 - REC | | 20 A | 1 | | | | 1260 VA | 1440 VA | 1 | 20 A | OFFICE 114 - REC | 18 |
| 19 | RM 159 - REC | | 20 A | 1 | 900 VA | 720 VA | | | | 1 | 20 A | OFFICE 116 - REC | 20 |
| 21 | RM 160 - REC | | 20 A | 1 | | 1080 VA | 720 VA | | | 1 | 20 A | OFFICE 118 - REC | 22 |
| 23 | CONF 183 - REC | | 20 A | 1 | | | | 1080 VA | 540 VA | 1 | 20 A | REGISTRATION 109 - REC | 24 |
| 25 | TLT 180, COR 182 - REC | | 20 A | 1 | 900 VA | 540 VA | | | | 1 | 20 A | PHOTO ID AREA | 26 |
| 27 | REC - ENVC LOBBY 101 | | 20 A | 1 | | 800 VA | 500 VA | | | 1 | 20 A | WORK AREA REC. | 28 |
| 29 | TLT 181, ELEC 182 - REC | 4.5 | 20 A | 1 | | | | 900 VA | 0 VA | 1 | 20 A | S-PARE | 30 |
| 31 | TOILET ELECTRONIC FLUSH | | 20 A | 1 | 500 VA | 0 VA | | | | 1 | 20 A | S-PARE | 32 |
| 33 | TOILET ELECTRONIC FLUSH | | 20 A | 1 | | 500 VA | 0 VA | | | 1 | 20 A | S-PARE | 34 |
| 35 | SUPPLY FAN SF-3 | | 20 A | 1 | | | | 1080 VA | 0 VA | 1 | 20 A | S-PARE | 36 |
| 37 | S-PARE | | 20 A | 1 | 0 VA | 0 VA | | | | 1 | 20 A | S-PARE | 38 |
| 39 | S-PARE | | 20 A | 1 | | 0 VA | 0 VA | | | 1 | 20 A | S-PARE | 40 |
| 41 | S-PARE | | 20 A | 1 | | | | 0 VA | 0 VA | 1 | 20 A | S-PARE | 42 |
| Total Load: | | | | | 7520 VA | 8740 VA | 9320 VA | | | | | | |
| Total Amps: | | | | | 63 A | 74 A | 79 A | | | | | | |
| Total Connected Load (VA) | | | | | | | | | | | 25580 VA | | |
| Total Connected Current (A) | | | | | | | | | | | 71 A | | |

Notes:

1. ALL CIRCUIT BREAKERS 20 AMPERE, SINGLE POLE, UNLESS NOTED OTHERWISE.

2. PROVIDE UPDATED TYPED PANEL SCHEDULE REFLECT ADDITIONS/MODIFICATIONS.

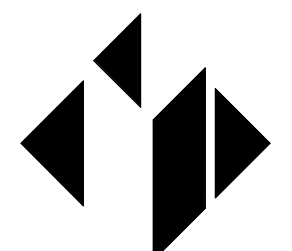
3. LEAVE ALL BREAKERS NOTED AS SPARES IN THE OFF POSITION.

4. GFI DENOTES GFI TYPE CIRCUIT BREAKER.

5. DENOTES NEW CIRCUIT BREAKER TO BE PURCHASED AND INSTALLED BY ELECTRICAL CONTRACTOR. AIC TO RATING TO MATCH EXISTING.

6. DENOTES RED LOCKING DEVICE ON CIRCUIT BREAKER FOR FIRE ALARM DEVICE.

7. DARKER COLOR CIRCUIT DENOTES EXISTING BREAKER WITH NEW LOAD FOR RENOVATION. LIGHTER COLOR CIRCUIT DESIGNATIONS DENOTE EXISTING CIRCUITS TO REMAIN.



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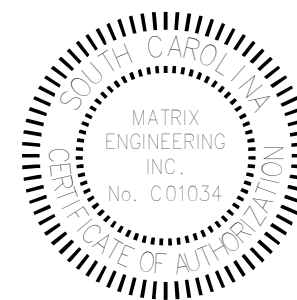


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Community College

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**Terhune Ground Floor and First Floor
Bookstore Renovations H59-6288-JM**

DELIVERY ORDER PROJECT NUMBER: H59,6288-IM

Spartanburg Community College
107 Community College Drive,
Spartanburg, South Carolina 29303

LS3P PROJECT: 3202-240135

[illegible]

SHEET NAME:
208V PANEL
SCHEDULES

ORIG 2025.06.2
SUBMISSION:

SHEET

E003.1

ISSUED FOR CONSTRUCTION

THE LINE SHOWN ABOVE IS EXACTLY ONE INCH ON THIS SHEET. SEE DIMENSIONS FOR PANEL SIZE.

E

D

C

B

A

6/18/2025 3:15:05 PM

| ORP | | | | | | | | | | | | | | | |
|---|----------------------------------|-------|------|-------|----------|---------|---------|---------|---------|---------|-------|----------|-------|--------------------------------------|-----|
| EXISTING 208/120 VOLT, 150AMP MAIN CIRCUIT BREAKER, 3PHASE, 4WIRE | | | | | | | | | | | | | | | |
| SQUARE D TYPE NQ00 | | | | | | | | | | | | | | | |
| CKT | Circuit Description | Notes | Trip | Poles | A | | B | | C | | Poles | Trip | Notes | Circuit Description | CKT |
| 1 | RM G14, G16, G18, GSTO2 REC | | 20 A | 1 | 900 VA | 360 VA | | | | | 1 | 20 A | | REC - CHIEF G38 | 2 |
| 3 | MECH G19 - REC | | 20 A | 1 | | | 540 VA | 1000 VA | | | 1 | 20 A | 4.5 | REC - UNDERCOUNTER FRIDGE OFFIC... | 4 |
| 5 | REC - COUNSELOR G56 | | 20 A | 1 | | | | | 540 VA | 1000 VA | 1 | 20 A | 4.5 | REC - MICROWAVE OFFICE WRK G34 | 6 |
| 7 | PROCESSING G17 - REC | | 20 A | 1 | 900 VA | 1760 VA | | | | | 1 | 20 A | | REC & FLR BOX - OFFICE WRK G34 | 8 |
| 9 | REC - STORAGE G17 & CORR. G54 | | 20 A | 1 | | | 360 VA | 900 VA | | | 1 | 20 A | | REC - ADMIN DISPATCH G31 | 10 |
| 11 | REC - COOLER DRY GOODS G57 | | 20 A | 1 | | | | | 540 VA | 1040 VA | 1 | 20 A | | REC - OPEN OFFICE G40 | 12 |
| 13 | REC - DRY GOODS G67 | | 20 A | 1 | 540 VA | 800 VA | | | | | 1 | 20 A | | RM G23 - VENDING | 14 |
| 15 | REC - MICROWAVE - STF BRK G47 | 4.5 | 20 A | 1 | | | 180 VA | 0 VA | | | 1 | 20 A | | 20A BREAKER | 16 |
| 17 | REC - STAFF BREAK G47 | | 20 A | 1 | | | | | 540 VA | 540 VA | 1 | 20 A | | REC - OPEN OFFICE G40 | 18 |
| 19 | TELEPHONE BOARD - REC | | 20 A | 1 | 720 VA | 0 VA | | | | | 1 | 20 A | | G-12 WALL OUTLET | 20 |
| 21 | DISHWASHER STF BRK G47 | 4.5 | 20 A | 1 | | | 1200 VA | 0 VA | | | 1 | 20 A | | G-12 PLUG MOLD | 22 |
| 23 | UNIT HEATER | | 20 A | 1 | | | | | 528 VA | 1000 VA | 1 | 20 A | | REC - OPEN OFFICE G40 COPIER | 24 |
| 25 | UNDERCOUNTER - ICE MAKER | 4.5 | 20 A | 1 | 1200 VA | 540 VA | | | | | 1 | 20 A | | REC - GENERAL STORAGE G33A | 26 |
| 27 | WH-1 CIRCULATOR | | 20 A | 1 | | | 480 VA | 1260 VA | | | 1 | 20 A | | REC - INTEGRATION G35 | 28 |
| 29 | FC-1,3,5,7 | | 20 A | 1 | | | | | 500 VA | 1040 VA | 1 | 20 A | | REC - INTEGRATION G35 | 30 |
| 31 | REC - FRIDGE | 4.5 | 20 A | 1 | 800 VA | 540 VA | | | | | 1 | 20 A | | REC - LIEUT G37 & OFFICER G38, DI... | 32 |
| 33 | REC - MEETING G46 & STAFF BRK... | | 20 A | 1 | | | 1040 VA | 360 VA | | | 1 | 20 A | | REC - DIR. G42 & DEAN'S OFF G52 | 34 |
| 35 | REC - FUTURE G53, COORDINATOR... | | 20 A | 1 | | | | | 720 VA | 860 VA | 1 | 20 A | | REC - DEAN'S OFFICE G52 | 36 |
| 37 | REC - COMPLIANCE G43, G44 | | 20 A | 1 | 360 VA | 860 VA | | | | | 1 | 20 A | | REC - ADMIN WAITING G50 | 38 |
| 39 | REC - MEETING G46 | | 20 A | 1 | | | 540 VA | 900 VA | | | 1 | 20 A | | REC - ADMIN WAITING G50 | 40 |
| 41 | SPARE | | 20 A | 1 | | | | | 0 VA | 720 VA | 1 | 20 A | | REC - COUNSELOR G55 | 42 |
| Total Load: | | | | | 10280 VA | | 8760 VA | | 9568 VA | | | | | | |
| Total Amps: | | | | | 87 A | | 73 A | | 81 A | | | | | | |
| Total Connected Load (VA) | | | | | | | | | | | | 28608 VA | | | |
| Total Connected Current (A) | | | | | | | | | | | | 79 A | | | |
| Notes: | | | | | | | | | | | | | | | |
| 1. ALL CIRCUIT BREAKERS 20 AMPERE, SINGLE POLE, UNLESS NOTED OTHERWISE. | | | | | | | | | | | | | | | |
| 2. PROVIDE UPDATED TYPED PANEL SCHEDULE REFLECT ADDITIONS/MODIFICATIONS. | | | | | | | | | | | | | | | |
| 3. LEAVE ALL BREAKERS NOTED AS SPARES IN THE OFF POSITION. | | | | | | | | | | | | | | | |
| 4. GFI DENOTES GFI TYPE CIRCUIT BREAKER. | | | | | | | | | | | | | | | |
| 5. DENOTES NEW CIRCUIT BREAKER TO BE PURCHASED AND INSTALLED BY ELECTRICAL CONTRACTOR. AIC TO RATING TO MATCH EXISTING. | | | | | | | | | | | | | | | |
| 6. DENOTES RED LOCKING DEVICE ON CIRCUIT BREAKER FOR FIRE ALARM DEVICE. | | | | | | | | | | | | | | | |
| 7. DARKER COLOR CIRCUIT DENOTES EXISTING BREAKER WITH NEW LOAD FOR RENOVATION. LIGHTER COLOR CIRCUIT DESIGNATIONS DENOTE EXISTING CIRCUITS TO REMAIN. | | | | | | | | | | | | | | | |
| 8. DENOTES EXISTING CIRCUIT TO BE DISCONNECTED FROM LOAD AND LEFT AS A SPARE. | | | | | | | | | | | | | | | |

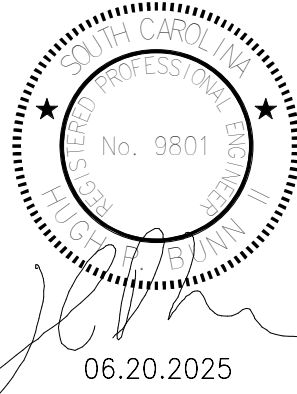
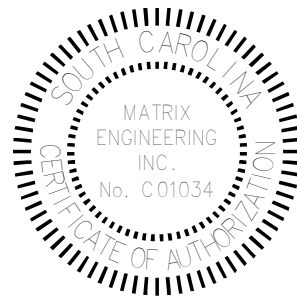
| E | | | | | | | | | | | | | | | |
|---|---------------------|-------|------|-------|----------|---------|----------|---------|----------|---------|-------|------|-------|---------------------|-----|
| EXISTING EMERGENCY 480/277 VOLT, 225AMP MAIN LUGS ONLY, 3PHASE, 4WIRE | | | | | | | | | | | | | | | |
| SQUARE D TYPE NF | | | | | | | | | | | | | | | |
| CKT | Circuit Description | Notes | Trip | Poles | A | | B | | C | | Poles | Trip | Notes | Circuit Description | CKT |
| 1 | 1ST FLOOR E-LIGHTS | | 20 A | 1 | 2560 VA | 9422 VA | | | | | | | | | 2 |
| 3 | 2ND FLOOR E-LIGHTS | | 20 A | 1 | | | 2540 VA | 9422 VA | | | 3 | 70 A | | AH-1-A 25HP | 4 |
| 5 | 1ST FLOOR E-LIGHTS | | 20 A | 1 | | | | | 2376 VA | 9422 VA | | | | | 6 |
| 7 | GND FLOOR E-LIGHTS | | 20 A | 1 | 3028 VA | 1940 VA | | | | | | | | | 8 |
| 9 | SPARE | | 20 A | 1 | | | 0 VA | 1940 VA | | | 3 | 20 A | | AH-2 5HP | 10 |
| 11 | SPARE | | 20 A | 1 | | | | | 0 VA | 1940 VA | | | | | 12 |
| 13 | | | | | 3048 VA | 2770 VA | | | | | | | | | 14 |
| 15 | EF-1 7-1/2HP | | 20 A | 3 | | | 3048 VA | 2770 VA | | | 3 | 20 A | | AH-3 7-1/2HP | 16 |
| 17 | | | | | | | | | 3048 VA | 2770 VA | | | | | 18 |
| 19 | | | | | 1940 VA | 1250 VA | | | | | | | | | 20 |
| 21 | EF-3 5HP | | 15 A | 3 | | | 1940 VA | 1250 VA | | | 3 | 15 A | | EF-5 3HP | 22 |
| 23 | | | | | | | | | 1940 VA | 1250 VA | | | | | 24 |
| 25 | | | | | 3048 VA | -- | | | | | 1 | -- | | SPACE | 26 |
| 27 | EF-4 7-1/2HP | | 20 A | 3 | | | 3048 VA | -- | | | 1 | -- | | SPACE | 28 |
| 29 | | | | | | | | | 3048 VA | -- | 1 | -- | | SPACE | 30 |
| 31 | SPACE | | -- | 1 | -- | -- | | | | | 1 | -- | | SPACE | 32 |
| 33 | SPACE | | -- | 1 | | | -- | -- | | | 1 | -- | | SPACE | 34 |
| 35 | SPACE | | -- | 1 | | | | | -- | -- | 1 | -- | | SPACE | 36 |
| 37 | SPACE | | -- | 1 | -- | -- | | | | | 1 | -- | | SPACE | 38 |
| 39 | SPACE | | -- | 1 | | | -- | 3080 VA | | | | | | | 40 |
| 41 | SPACE | | -- | 1 | | | | | -- | 3080 VA | 2 | 20 A | | TRANSFORMER | 42 |
| Total Load: | | | | | 29006 VA | | 29038 VA | | 28874 VA | | | | | | |
| Total Amps: | | | | | | | | | | | | | | | |
| Total Connected Load: 86918 VA | | | | | | | | | | | | | | | |
| Total Connected Current: 105 A | | | | | | | | | | | | | | | |
| Notes: | | | | | | | | | | | | | | | |
| 1. ALL CIRCUIT BREAKERS 20 AMPERE, SINGLE POLE, UNLESS NOTED OTHERWISE. | | | | | | | | | | | | | | | |
| 2. PROVIDE UPDATED TYPED PANEL SCHEDULE REFLECT ADDITIONS/MODIFICATIONS. | | | | | | | | | | | | | | | |
| 3. LEAVE ALL BREAKERS NOTED AS SPARES IN THE OFF POSITION. | | | | | | | | | | | | | | | |
| 4. GFI DENOTES GFI TYPE CIRCUIT BREAKER. | | | | | | | | | | | | | | | |
| 5. DENOTES NEW CIRCUIT BREAKER TO BE PURCHASED AND INSTALLED BY ELECTRICAL CONTRACTOR. AIC TO RATING TO MATCH EXISTING. | | | | | | | | | | | | | | | |
| 6. DENOTES RED LOCKING DEVICE ON CIRCUIT BREAKER FOR FIRE ALARM DEVICE. | | | | | | | | | | | | | | | |
| 7. DARKER COLOR CIRCUIT DESIGNATIONS DENOTE NEW CIRCUITS FOR RENOVATION. LIGHTER COLOR CIRCUIT DESIGNATIONS DENOTE EXISTING CIRCUITS TO REMAIN. | | | | | | | | | | | | | | | |



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Terhune Ground Floor and First Floor Bookstore Renovations H59-6288-JM

DELIVERY ORDER PROJECT NUMBER: H59-6288-JM

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107 Community College Drive
Spartanburg, South Carolina 29303

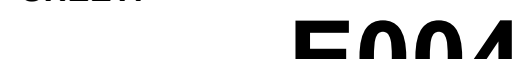
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SHEET NAME:
208V PANEL SCHEDULES

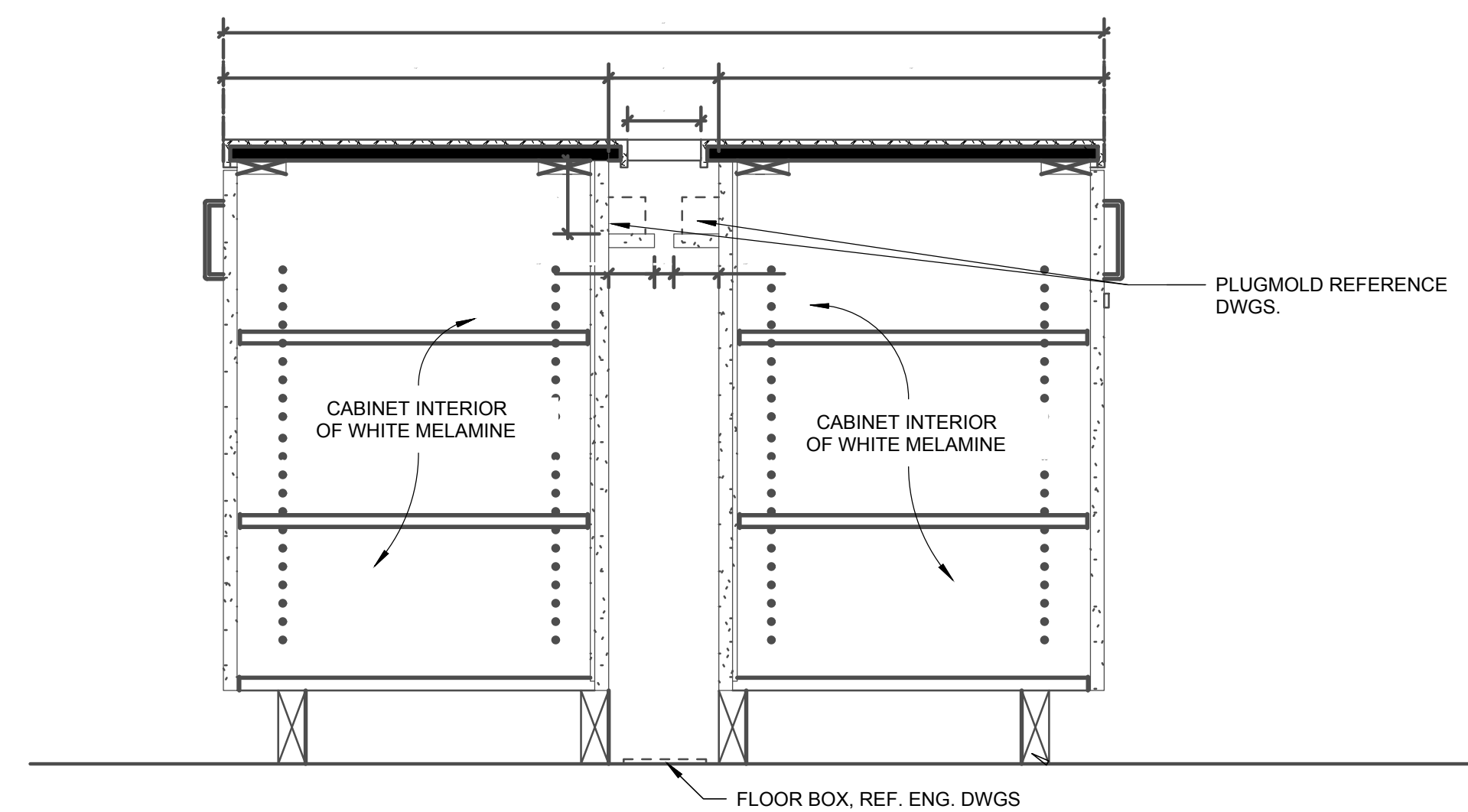
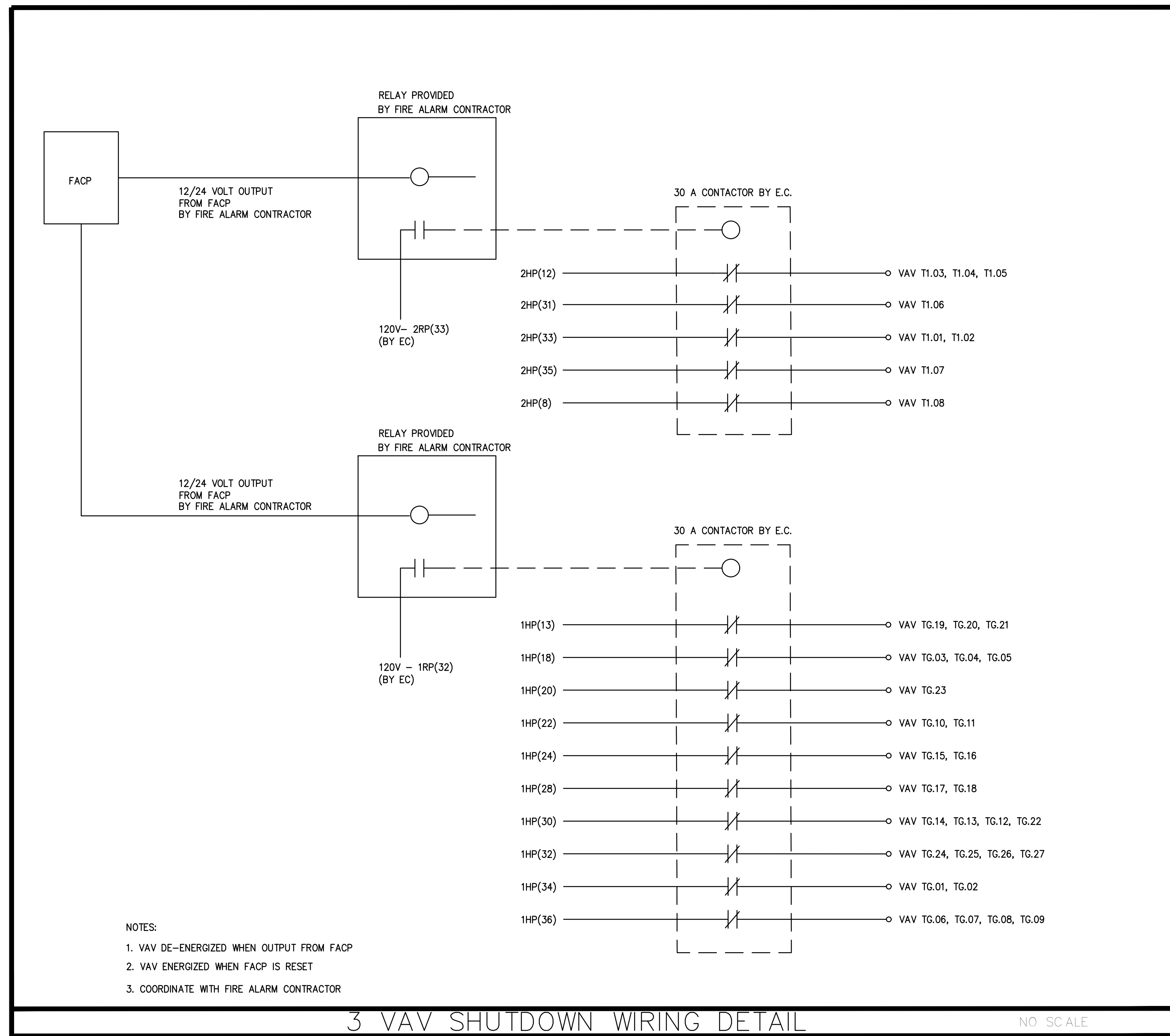
ORIG SUBMISSION: 2025.06.20

SHEET:
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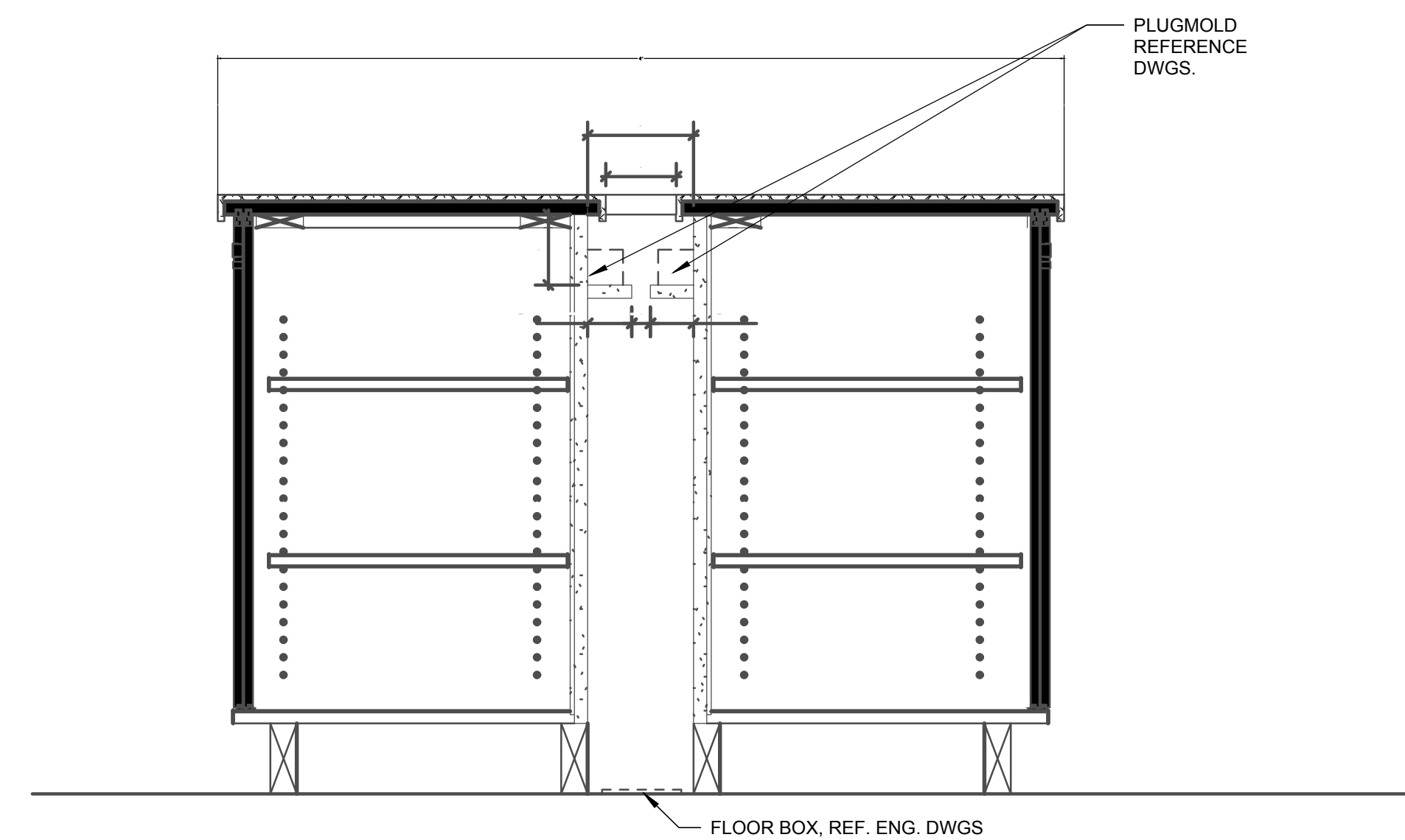
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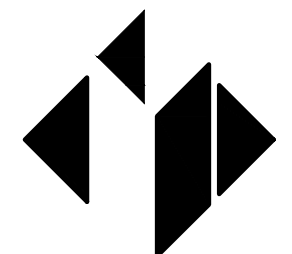
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(D1) MILLWORK SECTION - ELECTRONIC DISPLAY ISLAND - 2
1 1/2" = 1'-0"



B4 MILLWORK SECTION - ELECTRONIC DISPLAY ISLAND - 1
1 1/2" = 1'-0"



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Spartanburg, South Carolina, 29302
864.583.6274
Project Number: 2024-189

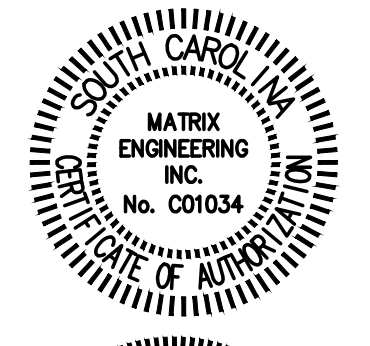


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**Terhune Ground Floor and First Floor
Bookstore Renovations H59-6288-JM**

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LS3P PROJECT: 3202-240135

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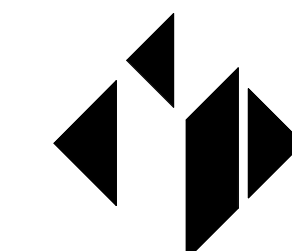
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ELECTRICAL
DETAILS

ORIG SUBMISSION: 2025.06.20

SHEET:

E004.1

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Project Number: 2024-189

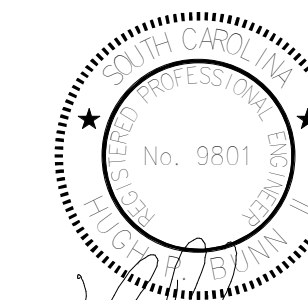
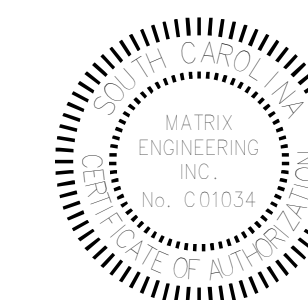


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**Terhune Ground Floor and First Floor
Bookstore Renovations H59-6288-JM**

DELIVERY ORDER PROJECT NUMBER: H59-6288-JM

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US3P PROJECT: 3202-240135

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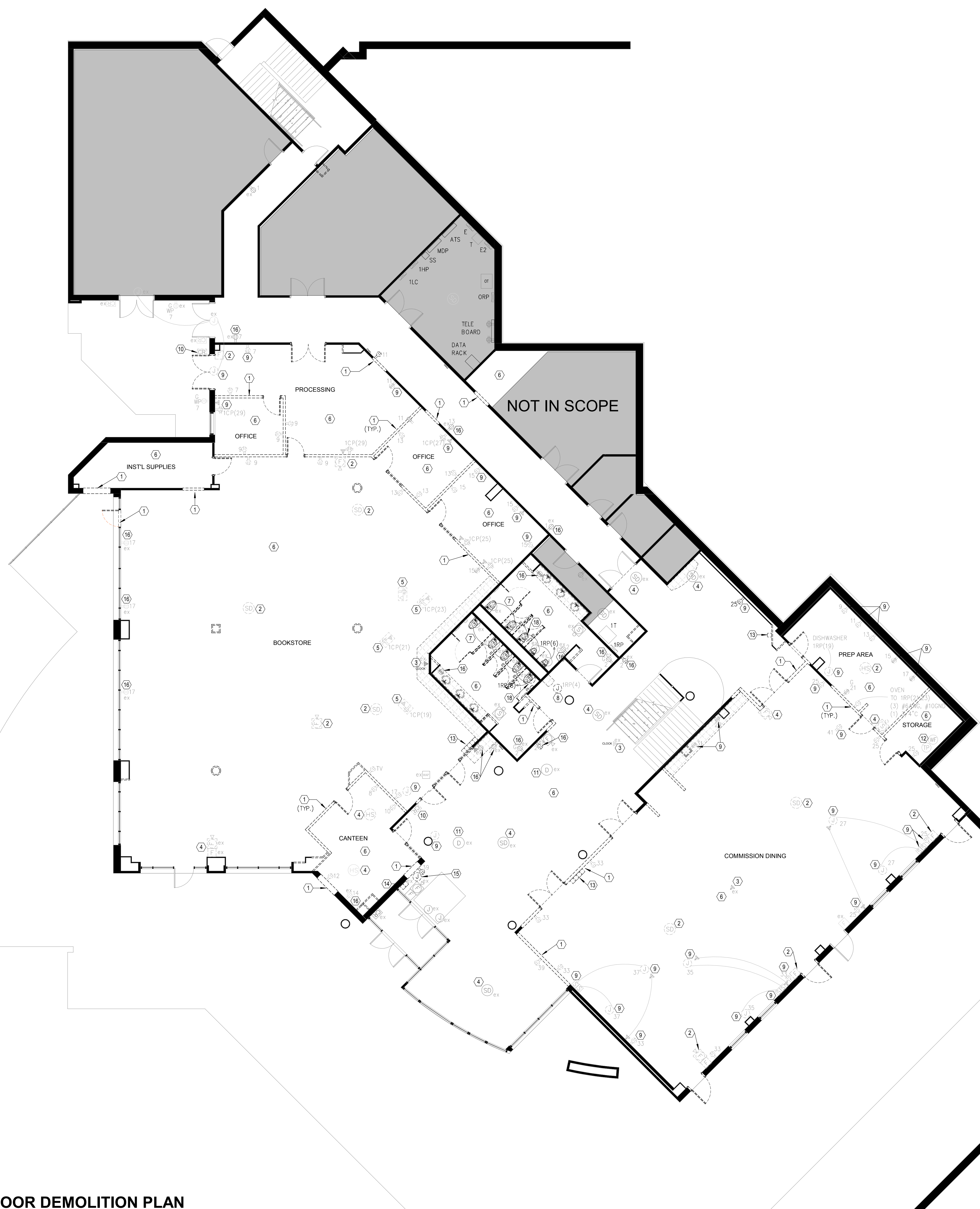
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GROUND FLOOR
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ORIG 2025.06.20
SUBMISSION:

SHEET:

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GENERAL DEMOLITION NOTES:

1. ELECTRICAL CONTRACTOR TO COORDINATE ALL DEMOLITION WITH GENERAL CONTRACTOR.
2. ELECTRICAL CONTRACTOR TO COORDINATE WITH GENERAL CONTRACTOR TO DE-ENERGIZE AND "MAKE-SAFE" ALL ELECTRICAL IN AREA TO BE RENOVATED AND/OR DEMOLISHED BEFORE WORK BEGINS.
3. DASHED LINES DENOTE EXISTING WALLS TO BE DEMOLISHED.
4. ELECTRICAL CONTRACTOR TO REMOVE ALL EXISTING ELECTRICAL COMPONENTS NO LONGER IN USE. (WIRE, CONDUIT, HANGERS, ETCETERA)
5. LIGHTER COLORED RECEPTABLES WITH "x" ADJACENT DENOTES EXISTING RECEPTABLES TO REMAIN.
6. "re" DENOTES EXISTING DEVICE TO BE RELOCATED TO LOCATION SHOWN.
7. ELECTRICAL CONTRACTOR TO REMOVE ANY CEILING MOUNTED DEVICES (SHOWN OR NOT SHOWN). ELECTRICAL CONTRACTOR TO STORE DEVICES IN SAFE PLACE TO BE REINSTALLED AFTER CEILING WORK IS COMPLETE.
8. THE CONTRACTOR SHALL SURVEY THE ELECTRICAL SYSTEMS IN THE AREA TO BE DEMOLISHED PRIOR TO START OF CONSTRUCTION. THE CONTRACTOR SHALL ACCOMPLISH THE ELECTRICAL DEMOLITION IN A MANNER THAT SHALL NOT AFFECT THE OPERATION OF THE ELECTRICAL SYSTEMS IN OTHER AREAS OF THE BUILDING THAT ARE OUTSIDE THE LIMITS OF CONSTRUCTION FOR THIS PROJECT.
9. IN LOCATIONS WHERE WALLS ARE BEING DEMOLISHED THE CONTRACTOR SHALL REMOVE ALL ELECTRICAL DEVICES INCLUDING BACKBOXES, CONDUIT AND CONDUCTORS BACK TO THE RESOURCE PANEL. WHERE CIRCUITS ARE SHARED WITH OTHER DEVICES THAT ARE INTENDED TO REMAIN, THE CONTRACTOR SHALL MAKE PROVISION TO KEEP THE OTHER DEVICES OPERATIONAL AT THE END OF CONSTRUCTION.
10. WHERE POWER AND LIGHTING CIRCUITS ONLY SERVE THE AREA BEING DEMOLISHED, THE CONTRACTOR SHALL REMOVE THE DEVICE AND ANY ASSOCIATED BOXES, CONDUIT AND WIRING BACK TO THE RESOURCE PANEL. IF THE BREAKER IS COMPLETELY CLEARED OF ANY LOAD THE CONTRACTOR SHALL PLACE THE BREAKER IN THE OFF POSITION AND REVISE THE PANEL DIRECTORY CARD TO REFLECT THE BREAKER IS A SPARE.
11. WHERE LIFE SAFETY TYPE SYSTEMS, FIRE ALARM ETC. ARE AFFECTED BY THE ELECTRICAL DEMOLITION THE CONTRACTOR SHALL ENSURE THAT EACH SYSTEM REMAINS FUNCTIONAL IN AREAS OUTSIDE THE LIMITS OF CONSTRUCTION. AT THE END OF THE DEMOLITION ON A LIFE SAFETY TYPE SYSTEMS SHALL BE CERTIFIED TO IN CORRECT CO CODE COMPLIANT OPERATING CONDITION.
12. PRIOR TO THE START OF DEMOLITION THE CONTRACTOR SHALL SURVEY THE EXTENTS OF THE AREA IN THIS PROJECT AND VERIFY ALL FIXTURES AND DEVICES THAT WILL BE REMOVED AS PART OF THE DEMOLITION.
13. HATCHED AREA DENOTES EXISTING AREA WHERE NO WORK IS TO BE PERFORMED.
14. CONTINUITY OF ANY CIRCUIT INTERRUPTED BY DEMOLITION MUST BE REPAIRED SO THAT CONTINUITY IS MAINTAINED.
15. CIRCUIT DESIGNATIONS SHOWN ON THIS PLAN WERE TAKEN FROM THE 2001 AS-BUILT DOCUMENTS. ELECTRICAL CONTRACTOR TO FIELD VERIFY CIRCUIT DESIGNATIONS.
16. ELECTRICAL CONTRACTOR IS TO FIELD VERIFY EXISTING CONDITIONS AND DEMOLITION RESPONSIBILITIES ARE NOT NECESSARILY LIMITED TO THOSE LISTED BELOW. WORK THAT IS NOT REMOVED AND/OR REPAIRED AND/OR NOT CONSTRUCTED CONSTRUCTION ITEMS THAT ARE NOT UTILIZED IN THE FINISHED CONSTRUCTION PROJECT. REMOVE ALL ITEMS SPECIFICALLY INDICATED IN THE DRAWINGS AND ITEMS WHICH ARE NECESSARY TO BE REMOVED TO BE ORDERED TO BE FIELD VERIFIED. CONSTRUCTION ITEMS TO BE REMOVED IN A NEAT AND ORDERLY MANNER TO MINIMIZE DISRUPTIONS. SALVAGEABLE ITEMS TO BE TURNED OVER TO OWNER.
17. THE ELECTRICAL CONTRACTOR SHALL NOTIFY THE OWNER A MINIMUM OF 72 HOURS PRIOR TO ANY DISRUPTION OF SERVICES, INCLUDING LIFE SAFETY SYSTEMS. EXISTING LIFE SAFETY SYSTEMS SHALL BE MAINTAINED THROUGHOUT THE COURSE OF WORK.
18. DO NOT ABANDON BRANCH CIRCUIT WIRING ABOVE CEILINGS OR IN WIREWAYS.
19. BIDDER/CONTRACTOR SHALL VISIT THE SITE, EXAMINE AND VERIFY CONDITIONS UNDER WHICH THE WORK SHALL BE CONDUCTED AND ACCOUNT FOR FIELD CONDITIONS AND DISCREPANCIES TO BE CONSIDERED IN THE SUBMITTAL.
20. CIRCUITS SHOWN ON THIS PLAN WERE TAKEN FROM EXISTING AS-BUILT DOCUMENTS AND EXISTING PANEL SCHEDULES. CIRCUITS ARE SHOWN FOR REFERENCE ONLY.

KEYED DEMOLITION NOTES:

- (1) DENOTES WALL TO BE DEMOLISHED. ELECTRICAL CONTRACTOR TO REMOVE ALL DEVICE BOXES, WIRE, CONDUIT, AND FACE PLATES LOCATED IN WALL TO BE DEMOLISHED. REMOVE WIRE AND CONDUIT BACK TO NEAREST JUNCTION BOX.
- (2) DENOTES EXISTING FIRE ALARM DEVICE TO BE REMOVED DURING DEMOLITION.
- (3) DENOTES EXISTING DIGITAL CLOCK TO BE REMOVED DURING DEMOLITION AND TURNED OVER TO OWNER. COORDINATE WITH OWNER PRIOR TO REMOVING CLOCK.
- (4) DENOTES EXISTING FIRE ALARM DEVICE TO BE REMOVED DURING DEMOLITION. ELECTRICAL CONTRACTOR TO STORE DEVICE IN SAFE SPACE AND INSTALL DEVICE IN NEW LOCATION AS SHOWN ON SHEET E500.
- (5) DENOTES FLOOR BOXES TO BE REMOVED AND PATCHED TO MATCH EXISTING FLOOR.
- (6) ELECTRICAL CONTRACTOR TO REMOVE EXISTING LIGHT FIXTURES. PREPARE EXISTING CIRCUITS FOR NEW LIGHTS. SEE SHEET E400 FOR ADDITIONAL INFORMATION.
- (7) DENOTES LOW VOLTAGE WIRING FOR AUTOMATIC TOILET FLUSH VALVE TO BE DISCONNECTED BY PLUMBING CONTRACTOR. ELECTRICAL CONTRACTOR TO DISCONNECT LINE VOLTAGE POWER AND RECONNECT TO NEW EQUIPMENT. COORDINATE WITH PLUMBING CONTRACTOR.
- (8) ELECTRICAL CONTRACTOR TO DISCONNECT POWER TO JUNCTION BOX FOR WATER COOLER AND REUSE CIRCUIT 1874A FOR NEW RECEPTACLE TO FEED NEW PLUG-IN WATER COOLER. SEE SHEET E200 FOR MORE INFORMATION.
- (9) DENOTES EXISTING WALL TO BE DEMOLISHED. ELECTRICAL CONTRACTOR TO REMOVE ALL CONDUIT, WIRING, AND DEVICE BOXES ASSOCIATED WITH DEVICE BACK TO NEAREST JUNCTION BOX.
- (10) DENOTES EXISTING CARD READER TO BE DEMOLISHED. ELECTRICAL CONTRACTOR TO REMOVE ALL EXISTING DEVICE BOXES, CONDUIT & LOW VOLTAGE CABLING TO NEAREST JUNCTION BOX.
- (11) DENOTES DUCT REMOTE TACTILE SWITCH TO BE REMOVED DURING DEMOLITION PHASE AND RE-INSTALLED DURING UP-FIT PHASE. SEE SHEET E501.
- (12) DENOTES EXISTING TAMPER SWITCH & FLOW SWITCH ASSOCIATED WITH EXISTING FIRE PROTECTION FRYING VALVE THAT IS TO REMAIN IN WALL. COORDINATE ANY REQUIREMENTS WITH FIRE PROTECTION CONTRACTOR.
- (13) DENOTES EXISTING LIGHT SWITCHES TO BE DEMOLISHED. ELECTRICAL CONTRACTOR TO REMOVE ALL EXISTING DEVICE BOXES TO NEAREST JUNCTION BOX.
- (14) DENOTES EXISTING LIGHT SWITCHES TO BE REMOVED.
- (15) DENOTES EXISTING DOWR PUSH PAD FOR MOTORIZED DOWR TO BE REMOVED AND RELOCATED. SEE SHEET E200 FOR NEW LOCATION OF PUSH PAD.
- (16) DENOTES EXISTING RECEPTACLE TO BE REMOVED AND REPLACED WITH NEW. UTILIZE EXISTING WIRING AND BACK BOX FOR NEW RECEPTACLE AND FACE PLATE. NEW RECEPTACLE AND FACE PLATE TO MATCH ALL DEVICES. SEE SHEET E200.
- (17) DENOTES EXISTING CEILING MOUNTED SMOKE DETECTOR/HEAT SENSOR TO BE REMOVED DURING DEMO PHASE AND RE-INSTALLED DURING UP-FIT PHASE. SEE SHEET E500 FOR LOCATION OF RELOCATED DEVICE.
- (18) DENOTES EXISTING JUNCTION BOX TO BE REMOVED.




$$1/8'' = 1'-0''$$

1. ELECTRICAL CONTRACTOR TO COORDINATE ALL DEMOLITION WITH GENERAL CONTRACTOR.
2. ELECTRICAL CONTRACTOR TO COORDINATE WITH GENERAL CONTRACTOR TO DEMOLISH AND "MAKE-SAFE" ALL ELECTRICAL IN AREA TO BE RENOVATED AND/OR DEMOLISHED BEFORE WORK BEGINS.
3. DASHED LINES DENOTE EXISTING WALLS TO BE DEMOLISHED.
4. ELECTRICAL CONTRACTOR TO REMOVE ALL EXISTING ELECTRICAL COMPONENTS NO LONGER IN USE. (WIRE, CONDUIT, HANGARS, ETCETERA)
5. LIGHTER COLORED RECEPTACE WITH "x" ADJACENT DENOTES EXISTING RECEPTABLES TO REMAIN.
6. "re" DENOTES EXISTING DEVICE TO BE RELOCATED TO LOCATION SHOWN.
7. ELECTRICAL CONTRACTOR TO REMOVE ANY CEILING MOUNTED DEVICES (SHOWN OR NOT SHOWN). ELECTRICAL CONTRACTOR TO STORE DEVICES IN SAFE PLACE TO BE REINSTALLED AFTER CEILING WORK IS COMPLETE.
8. THE CONTRACTOR SHALL SURVEY THE ELECTRICAL SYSTEMS IN THE AREA TO BE DEMOLISHED PRIOR TO START OF CONSTRUCTION. THE CONTRACTOR SHALL ACCOMPLISH THIS SURVEY DEMOLITION IN A MANNER THAT SHALL NOT AFFECT THE OPERATION OF THE ELECTRICAL SYSTEMS IN OTHER AREAS OF THE BUILDING THAT ARE OUTSIDE THE LIMITS OF CONSTRUCTION FOR THIS PROJECT.
9. IN LOCATIONS WHERE WALLS ARE BEING DEMOLISHED THE CONTRACTOR SHALL REMOVE ALL ELECTRICAL DEVICES AND ASSOCIATED BONDING AND CONDUCTORS BACK TO THE SOURCE PANEL. WHERE CIRCUITS ARE SHARED WITH OTHER DEVICES THAT ARE INTENDED TO REMAIN, THE CONTRACTOR SHALL MAKE PROVISION TO KEEP THE OTHER DEVICES OPERATIONAL AT THE END OF CONSTRUCTION.
10. WHERE POWER AND LIGHTING CIRCUITS ONLY SERVE THE AREA BEING DEMOLISHED, THE CONTRACTOR SHALL REMOVE ALL DEVICES AND ANY ASSOCIATED BONDING, CONDUIT AND CONDUCTORS BACK TO THE SOURCE PANEL. IF THE BREAKER IS COMPLETELY CLEARED OF ANY LOAD THE CONTRACTOR SHALL PLACE THE BREAKER IN THE OFF POSITION AND REWIRE THE PANEL DIRECTORY CARD TO REFLECT THE BREAKER IS A SPARE.
11. WHERE LIFE SAFETY TYPE SYSTEMS, FIRE ALARM ETC. ARE AFFECTED BY THE DEMOLITION THE CONTRACTOR SHALL ENSURE THAT EACH SYSTEM REMAINS FUNCTIONAL IN AREAS OUTSIDE THE LIMITS OF CONSTRUCTION. AT THE END OF THE PROJECT THE CONTRACTOR SHALL VERIFY THAT EACH TYPE SYSTEMS SHALL BE CERTIFIED TO BE IN CORRECT CODE COMPLIANT OPERATING CONDITION.
12. PRIOR TO THE START OF DEMOLITION THE CONTRACTOR SHALL SURVEY THE EXTENTS OF THE AREA IN THIS PROJECT AND VERIFY ALL FIXTURES AND DEVICES THAT WILL BE REMOVED AS PART OF THE DEMOLITION.
13. HATCHED AREA DENOTES EXISTING AREA WHERE NO WORK IS TO BE PERFORMED.
14. CONTINUITY OF ANY CIRCUIT INTERRUPTED BY DEMOLITION MUST BE REPAIRED SO THAT CONTINUITY IS MAINTAINED.
15. CIRCUIT DESIGNATIONS SHOWN ON THIS PLAN WERE TAKEN FROM THE 2001 AS-BUILT DOCUMENTS. ELECTRICAL CONTRACTOR TO FIELD VERIFY CIRCUIT DESIGNATIONS.
16. ELECTRICAL CONTRACTOR IS TO FIELD VERIFY EXISTING CONDITIONS AND DEMOLITION RESPONSIBILITIES ARE NOT NECESSARILY LIMITED TO THOSE LISTED BELOW. WORK FOR REMOVAL AND LEGAL DISPOSAL OF ALL EXISTING CONSTRUCTION ITEMS THAT ARE NOT UTILIZED IN THE FINISHED CONSTRUCTION PROJECT. REMOVE ALL ITEMS SPECIFICALLY INDICATED IN THE DRAWINGS AND ITEMS WHICH ARE NECESSARY TO A COMPLETE UNDERSTANDING OF THE PROJECT. SUBMIT A DEMOLITION WORK PERMIT DEMOLITION IN A NEAT AND ORDERLY MANNER TO MINIMIZE DISRUPTIONS. SALVAGEABLE ITEMS TO BE TURNED OVER TO OWNER.
17. THE ELECTRICAL CONTRACTOR SHALL NOTIFY THE OWNER A MINIMUM OF 72 HOURS PRIOR TO ANY DISRUPTION OF SERVICES, INCLUDING LIFE SAFETY SYSTEMS. EXISTING LIFE SAFETY SYSTEMS SHALL BE MAINTAINED THROUGHOUT THE COURSE OF WORK.
18. DO NOT ABANDON BRANCH CIRCUIT WIRING ABOVE CEILINGS OR IN WIREWAYS.
19. BIDDER/CONTRACTOR SHALL VISIT THE SITE, EXAMINE AND VERIFY CONDITIONS UNDER WHICH THE WORK SHALL BE CONDUCTED AND ACCOUT FOR FIELD CONDITIONS AND DISCREPANCIES. UNDERSTANDING OF THE PROJECT SHALL BE BASED ON THE DRAWINGS AND CIRCUITS SHOWN ON THIS PLAN WERE TAKEN FROM EXISTING AS-BUILT DOCUMENTS AND EXISTING PANEL, SCHEDULES. CIRCUITS ARE SHOWN FOR REFERENCE ONLY.

- 1 DENOTES WALL TO BE DEMOLISHED. ELECTRICAL CONTRACTOR TO REMOVE ALL DEVICE BOXES, WIRE, CONDUIT, AND FACE PLATES LOCATED IN WALL TO BE DEMOLISHED. REMOVE WIRE AND CONDUIT BACK TO NEAREST JUNCTION BOX.
- 2 DENOTES EXISTING DEVICE TO BE REMOVED. ELECTRICAL CONTRACTOR TO REMOVE ALL CONDUIT, WIRING, DEVICE BOXES ASSOCIATED WITH DEVICE BACK TO NEAREST JUNCTION BOX.
- 3 DENOTES EXISTING FIRE ALARM DEVICE TO BE REMOVED DURING DEMOLITION. ELECTRICAL CONTRACTOR TO STORE DEVICE IN SAFE SPACE AND INSTALL DEVICE IN NEW LOCATION AS SHOWN ON SHEET E501.
- 4 DENOTES EXISTING CEILING MOUNTED SMOKE DETECTOR/HEAT SENSOR TO BE REMOVED DURING DEMO PHASE AND RE-INSTALLED DURING UP-FIT PHASE. SEE SHEET E501 FOR LOCATION OF RELOCATED DEVICE.
- 5 ELECTRICAL CONTRACTOR TO REMOVE EXISTING LIGHT FIXTURES. PREPARE EXISTING CIRCUITS FOR NEW LIGHTS. SEE SHEET E401 FOR ADDITIONAL INFORMATION.
- 6 DENOTES LOW VOLTAGE WIRING FOR AUTOMATIC TOILET FLUSH VALVE TO BE DISCONNECTED BY PLUMBING CONTRACTOR. ELECTRICAL CONTRACTOR TO DISCONNECT LINE VOLTAGE POWER AND RECONNECT TO NEW EQUIPMENT. COORDINATE WITH PLUMBING CONTRACTOR.
- 7 DENOTES EXISTING FIRE ALARM DEVICE TO BE REMOVED FOR DEMOLITION OF WALL AND REUSED TO THE SAME LOCATION.
- 8 DENOTES RECEPTION DESK TO BE REMOVED. ELECTRICAL CONTRACTOR TO REMOVE EXISTING QUAD RECEPTACLE AND DATA BACK TO NEAREST JUNCTION BOX.
- 9 EXISTING PUSH-PAD FOR MOTORIZED DOOR TO REMAIN.
- 10 EXISTING CARD READER TO REMAIN.
- 11 DENOTES EXISTING DIGITAL CLOCK TO BE REMOVED DURING DEMOLITION AND TURNED OVER TO OWNER. COORDINATE WITH OWNER PRIOR TO REMOVING CLOCK.
- 12 EXISTING SECURITY CAMERA TO BE REMOVED DURING DEMOLITION AND TURNED OVER TO OWNER. COORDINATE WITH OWNER PRIOR TO REMOVING.
- 13 DENOTES DUCT DETECTOR REMOTE TEST SWITCH TO BE REMOVED DURING DEMOLITION PHASE AND RE-INSTALLED DURING UP-FIT PHASE. SEE SHEET E501.
- 14 DENOTES EXISTING RECEPTACLE TO BE REMOVED. UTILIZE EXISTING WIRING AND BACK BOX FOR NEW RECEPTACLE AND FACEPLATE. NEW RECEPTACLE AND FACEPLATE TO MATCH EXISTING NEW DEVICES. SEE SHEET E501.
- 15 DENOTES EXISTING LIGHT SWITCHES TO BE DEMOLISHED. ELECTRICAL CONTRACTOR TO REMOVE ALL EXISTING WIRING AND CONDUIT TO NEAREST JUNCTION BOX.
- 16 ELECTRICAL CONTRACTOR TO DISCONNECT POWER TO JUNCTION BOX FOR WATER COOLER AND REUSE CIRCUIT 3R972J FOR NEW RECEPTACLE TO FEED NEW PLUG-IN WATER COOLER. SEE SHEET E201 FOR MORE INFORMATION.
- 17 DENOTES EXISTING JUNCTION BOX TO BE REMOVED.

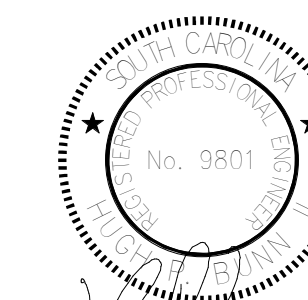
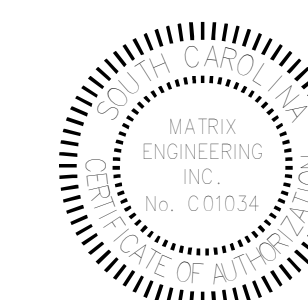


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**Terhune Ground Floor and First Floor
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S3P PROJECT: 3202-240135

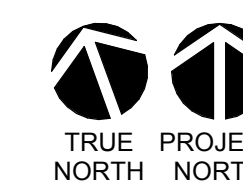
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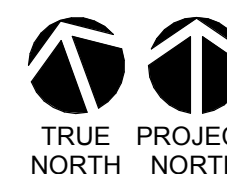
SHEET NAME:
LEVEL 1
DEMOLITION PLAN

ORIG SUBMISSION: 2025.06.20

SHEET: **E101**

ISSUED FOR CONSTRUCTION





1

LEVEL 1 POWER PLAN

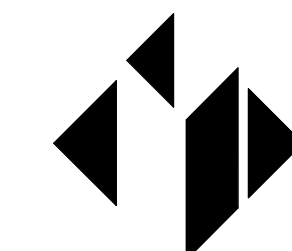
$$1/8" = 1'-0"$$


GENERAL POWER NOTES:

1. ELECTRICAL CONTRACTOR TO REMOVE ALL EXISTING WIRE AND CONDUIT NO LONGER IN USE.
2. LIGHTER COLORED RECEPTABLES WITH "60" ADJACENT TO DEVICE DENOTES EXISTING RECEPTACLE TO REMAIN. ELECTRICAL CONTRACTOR TO WIRE EXISTING RECEPTACLE TO NEW CIRCUIT AS INDICATED. REPLACE RECEPTACLE AND COVER PLATE TO MATCH NEW.
3. "FW" ADJACENT TO DEVICE DENOTES DEVICE TO BE FURNISHED WITH EQUIPMENT.
4. COORDINATE ALL ELECTRICAL WORK WITH GENERAL CONTRACTOR AND OTHER TRADES ON SITE BEFORE INSTALLATION.
5. COORDINATE FINAL LOCATION OF ALL ELECTRICAL OUTLETS WITH OWNER PRIOR TO INSTALLING.
6. ELECTRICAL CONTRACTOR TO VERIFY FINAL LOCATION OF DEVICE BOXES WITH OWNER/EQUIPMENT PRIOR TO INSTALLING.
7. ALL LOW VOLTAGE CABLEING TO BE PENUM RATED.
8. ALL ELECTRICAL CONTRACTOR TO APPLY UL LISTED FIRE STOP TO ALL PENETRATIONS THROUGH FIRE RATED WALLS EQUAL TO OR EXCEEDING RATING OF EXISTING WALL. SEE FIRE STOP DETAILS ON SHEET E004.
9. APPLY LABEL ADJACENT TO ALL FIRE PENETRATIONS INDICATING THE UL APPROVED FIRE CULKING SYSTEM UTILIZED AT THE PENETRATION.
10. ELECTRICAL CONTRACTOR'S SCOPE OF WORK CONCERNING DATA/COMM CONSIST OF RACEWAYS AND INSTALLED USING THE RACEWAY COMPONENTS, ALL DATA/COMM EQUIPMENT, FACEPLATES AND FINAL CONNECTIONS SHALL BE THE RESPONSIBILITY OF THE SRC INFORMATION TECHNOLOGY GROUP.
11. ALL WALL MOUNTED COVER PLATES SHALL BE STAINLESS STEEL OR SATIN NICKEL AND MIDSIZED WHERE APPLICABLE. VERIFY FINISH WITH ARCHITECT/OWNER PRIOR TO INSTALLING.
12. RECEPTABLES WHICH ARE BACK TO BACK ON A COMMON WALL SHALL BE OFFSET 6" MINIMUM TO AVOID SOUND TRANSMISSION.
13. ELECTRICAL CONTRACTOR TO PURCHASE AND INSTALL TAMPER PROOF RECEPTABLES TO COMPLY WITH ARTICLE 406.12 OF THE NEC.
14. ELECTRICAL CONTRACTOR TO PROVIDE PULL STRING IN ALL LOW VOLTAGE CONDUIT.
15. DO NOT SHARE NEUTRALS.
16. CONTRACTOR SHALL COORDINATE ALL CONDUIT THAT IS TO BE ROUTED IN SLAB WITH GENERAL CONTRACTOR PRIOR TO INSTALLATION. ALL CONDUIT REQUIRING THE SLAB TO BE CUT SHALL BE INSTALLED USING THE MOST DIRECT AND COST EFFECTIVE ROUTING. COORDINATE ALL PATCHING AND REPAIRS TO SLAB WITH GENERAL CONTRACTOR.
17. ELECTRICAL CONTRACTOR TO COORDINATE WITH GENERAL CONTRACTOR REGARDING EXTERIOR SIGNAGE VOLTAGE/CAPACITY REQUIREMENTS PRIOR TO PURCHASING AND INSTALLING CONDUIT, WIRING, AND CIRCUIT BREAKERS. COORDINATE ON/OFF TIME OF SIGNAGE ON/OFF TIME WITH GENERAL CONTRACTOR.

KEYED POWER NOTES:

- ① DENOTES QUANTITY (1) LEGRAND EVOLUTION SERIES WALL BOX, EF584 OR EQUAL FOR WALL MOUNTED TELEVISION. CONFIGURED WITH (1) 120V DUPLEX RECEPTACLE, (1) DATA CONNECTION, AUDIOVISUAL CONNECTIONS AS REQUIRED. ELECTRICAL CONTRACTOR TO PROVIDE EXACT MOUNTING HEIGHT & LOCATION WITH OWNER AND A/V CONTRACTOR PRIOR TO INSTALLING.
- ② DENOTES QUANTITY (1) LEGRAND EVOLUTION SERIES FLOOR BOX, EF645S-FINISH OR EQUAL, CONFIGURED WITH (2) 120V DUPLEX RECEPTACLES WITH USB-A & USB-C CHARGING. COORDINATE WITH ARCHITECT/OWNER FOR FINISH.
- ③ DENOTES EXISTING CIRCUIT 3RP(27) TO BE DISCONNECTED FROM EXISTING WATERCOOL JUNCTION BOX AND REUSED FOR NEW RECEPTACLE TO FEED NEW PLUG-IN WATER COOLER.
- ④ DENOTES FLUSH MOUNTED POKE THRU DEVICE WITH (2) 20A RECEPTACLES. ROUTE (1) 1/2" CONDUIT FOR DATA FROM POKE THRU TURNED UP IN WALL TO ACCESSIBLE CEILING SPACE ABOVE. PURCHASE AND INSTALL LEGRAND WIREMOLD SERIES 6ATC OR EQUAL.
- ⑤ DENOTES LEGRAND BK20GB590TRUAC CORC ENDED PLUGMOLD OR EQUIVALENT. ELECTRICAL CONTRACTOR TO PURCHASE AND INSTALL PLUGMOLD. SEE ELECTRICAL DETAILS ON SHEET E004.1 FOR MORE DETAILS ON PLUGMOLD LOCATION.
- ⑥ DENOTES EXISTING RECEPTACLE TO BE REMOVED. UTILIZE EXISTING WIRING AND BACK BOX FOR NEW RECEPTACLE AND FACEPLATE. NEW RECEPTACLE AND FACEPLATE TO MATCH ALL NEW DEVICES. SEE SHEET E101.
- ⑦ DENOTES JUNCTION BOX WITH EXTERNAL DISCONNECT SWITCH FOR EXTERIOR SIGNAGE. CONTRACTOR TO EXACT MOUNTING HEIGHT & LOCATION. JUNCTION BOX/DISCONNECT SWITCH WITH GENERAL CONTRACTOR AND SIGN PROVIDER PRIOR TO INSTALLING.



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Project Number: 2024-189

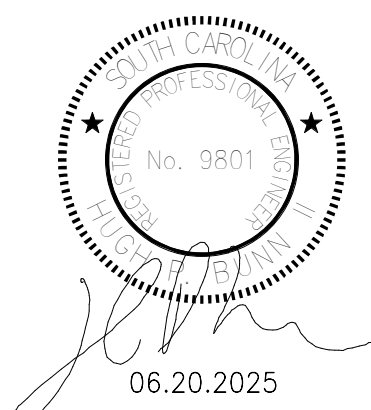
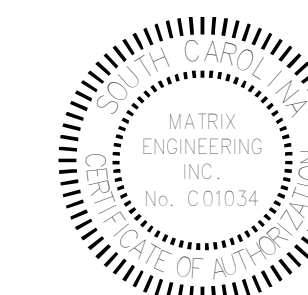


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S3P PROJECT: 3202-240135

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SHEET NAME:
LEVEL 1 POWER
PLAN

ORIG SUBMISSION: 2025.06.20

SHEET:

E201

ISSUED FOR CONSTRUCTION

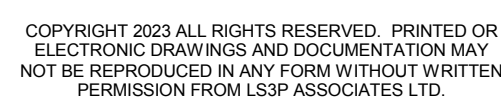




- 1 DENOTES EMERGENCY FIXTURE TO BE WIRED TO EXISTING PANEL E, CIRCUIT 7.
- 2 CONNECT TO NORMAL SWITCHED AND/OR DIMMED LIGHTING CIRCUIT VIA WATTSTOPPER
ELCUD200 EMERGENCY LIGHTING CONTROL UNIT. CONNECTION SHALL BE MADE SO THAT IN
A LOSS OF POWER THE EMERGENCY LIGHTING CONTROL UNIT PROVIDES POWER TO LIGHT
FIXTURES AND BYPASS LOCAL CONTROLS OR DIMMING. SEE EMERGENCY LIGHTING
CONTROL UNIT DETAIL FOR WIRING. EXISTING GROUND FLOOR EMERGENCY LIGHTING CIRCUIT
E(7) WITH (#10-1#10G IN 3/4").
- 3 DENOTES NEW FIXTURE PURCHASED AND INSTALLED BY ELECTRICAL CONTRACTOR.
ELECTRICAL CONTRACTOR TO PROVIDE SILICONE SEAL AROUND FIXTURE. WIRE FIXTURE
TO CIRCUIT 1HP(16). FIXTURE TO BE CONTROLLED VIA EXISTING LIGHTING CONTROL I.L.C.
- 4 ELECTRICAL CONTRACTOR TO PROVIDE BODINE GTD20 (OR EQUIVALENT) FOR CIRCUIT 1HP(16).
- 5 WIRE FIXTURE TO EXISTING AREA LIGHTING CIRCUIT. FIXTURE CONTROLLED BY NEW WALL
MOUNTED OCCUPANCY SENSOR PURCHASE AND INSTALLED BY ELECTRICAL CONTRACTOR.
- 6 DENOTES CIRCUIT LEG TO BE WIRED AHEAD OF THE LIGHTING CONTROL PANEL.
- 7 DENOTES NEW FIXTURE TO BE INSTALLED WHERE EXISTING FIXTURE WAS REMOVED
DURING DEMOLITION PHASE. ELECTRICAL CONTRACTOR TO UTILIZE EXISTING WIRING
CONTROLS.
- 8 DENOTES NEW LIGHTING CONTROL PANEL TO BE PURCHASED AND INSTALLED BY
ELECTRICAL CONTRACTOR. PANEL TO HAVE BACNET CAPABILITY AND BE TIED INTO
EXISTING BMS. COORDINATE WITH SCC IT DEPARTMENT FOR INTERCONNECTION
REQUIREMENTS.
- 9 DENOTES AREA WHERE EXISTING LIGHTING IS TO REMAIN.
- 10 FIXTURE TO BE MOUNTED BELOW CANOPY. COORDINATE EXACT MOUNTING HEIGHT WITH
EXISTING GENERAL CONTRACTOR.

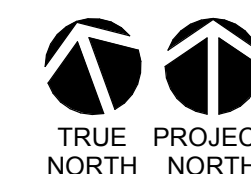
1 GROUND FLOOR LIGHTING PLAN





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












$$1/8" = 1'-0"$$

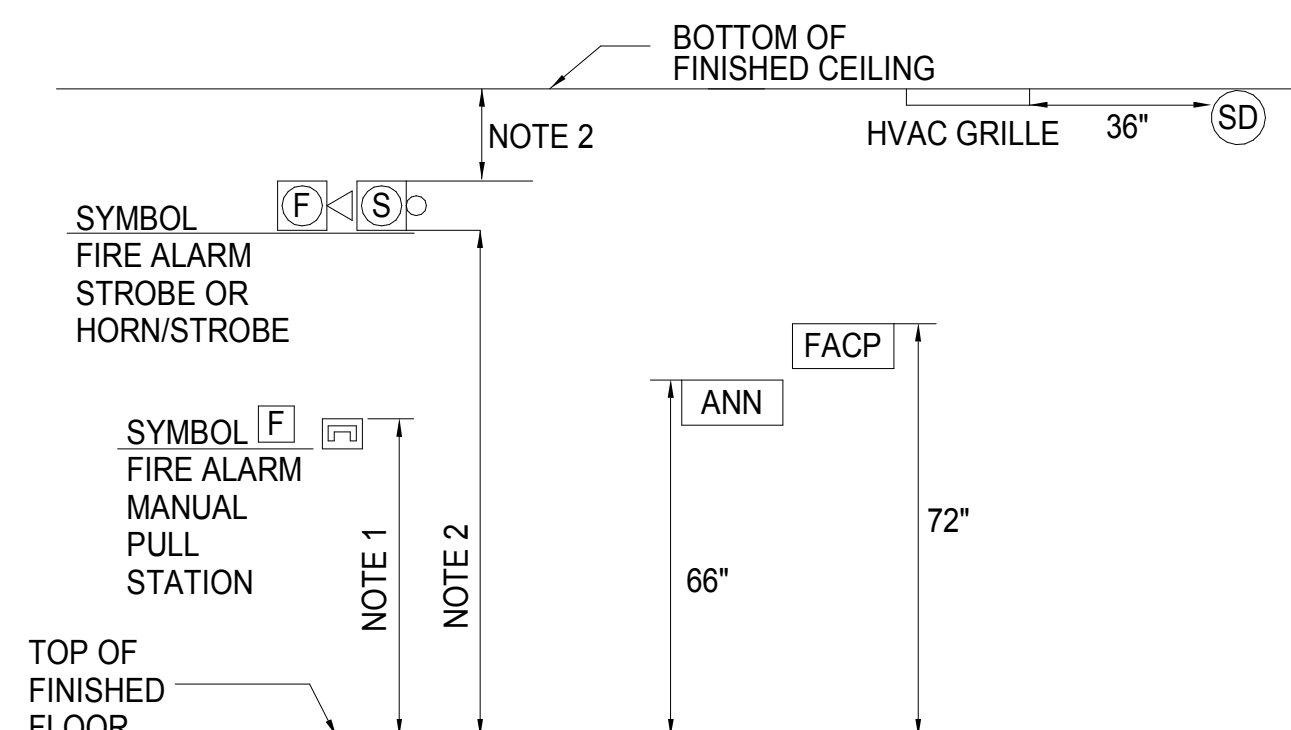
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$$1/8" = 1'-0"$$

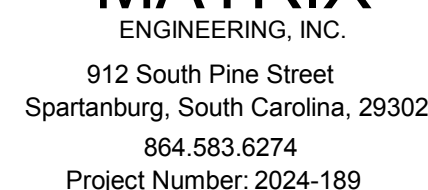
- ① DENOTES LOCATION OF EXISTING SIMPLEX 4010 FIRE ALARM CONTROL PANEL.
- ② DENOTES FIRE & SMOKE DAMPER LOCATION THAT REQUIRES DUCT DETECTOR WITH SAMPLING TUBE. SEE (E301) SMOKE, FIRE DAMPER DETAIL FOR ADDITIONAL INFORMATION.
- ③ DENOTES FIRE & SMOKE DAMPER LOCATION THAT REQUIRES "SPOT TYPE" SMOKE DETECTOR. MAXIMUM OF 5'-0" FROM DAMPER. DAMPER ACTUATOR IS TO BE INTERLOCKED WITH SMOKE DETECTOR. SEE (E301) SMOKE, FIRE DAMPER DETAIL FOR ADDITIONAL INFORMATION.

| FIRE ALARM LEGEND | |
|---|--|
|  | SMOKE DETECTOR |
| CO2  | SMOKE DETECTOR WITH CO2 BASE |
|  | DUCT DETECTOR. HVAC UNIT DESIGNATION BELOW. |
|  | HEAT SENSOR |
| CO2  | HEAT SENSOR WITH CO2 BASE |
|  | CARBON MONOXIDE DETECTOR |
|  | TAMPER MONITOR |
|  | FLOW SWITCH |
|  | CEILING SPEAKER ONLY |
|  | FIRE ALARM SYSTEM HORN/STROBE UNIT |
|  | FIRE ALARM SYSTEM STROBE UNIT |
|  | FIRE ALARM MANUAL PULL STATION |
|  | DOOR HOLD OPEN DEVICE |
|  | ID NET RELAY |
|  | MAIN FIRE ALARM CONTROL PANEL |
|  | FIRE ALARM ANNUNCIATOR PANEL, RECESSED |
|  | NOTIFICATION EXTENDER PANEL |
|  | INDIVIDUAL ADDRESSIBLE MODULE |
|  | KITCHEN HOOD MONITOR |
| CLING | ADJACENT TO DEVICE DENOTES DEVICE TO BE CEILING MOUNTED |
| WG | ADJACENT TO DEVICE DENOTES DEVICE TO HAVE A PROTECTIVE WIRE GUARD. |



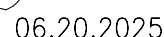
TYPICAL MOUNTING HEIGHTS FOR WALL MOUNTED DEVICES
SCALE: NONE

- MOUNTING NOTES:**
1. MOUNT PULL STATION AT 4'-0" AFF TO TOP OF BOX.
 2. MOUNT STROBE OR HORN/STROBE COMBINATION AT LEAST 80" AFF AND NOT MORE THAN 96" AFF. MOUNT DEVICE AT LEAST 6" DOWN FROM CEILING.
 3. MOUNTING HEIGHTS OF ELECTRICAL DEVICES TO MEET NFPA 72 AND ADA CODE REQUIREMENTS.



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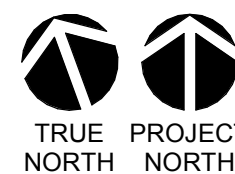
SHEET NAME:
GROUND FLOOR
FIRE ALARM PLAN

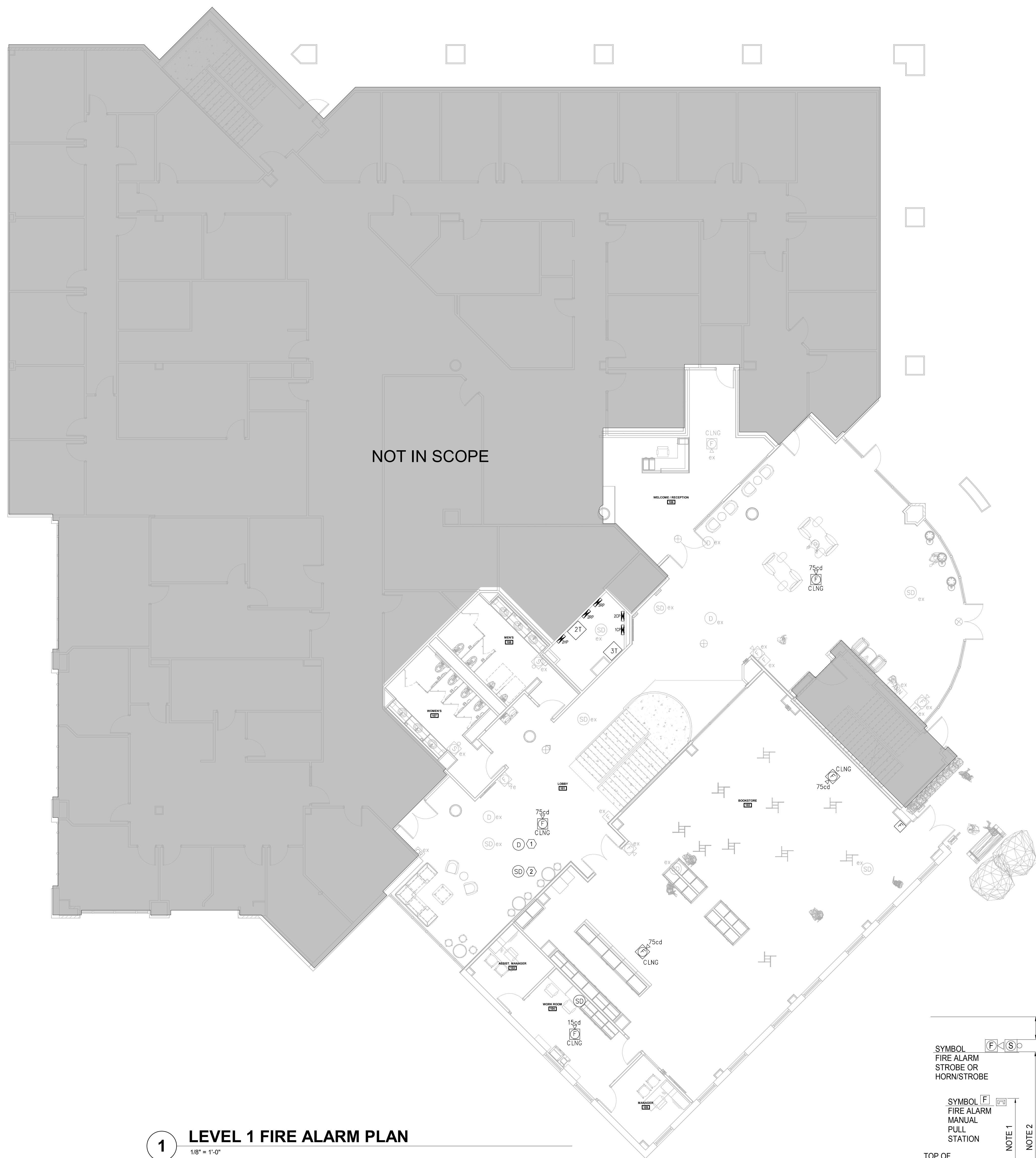
ORIG 2025.06.20
SUBMISSION:

SHEET:

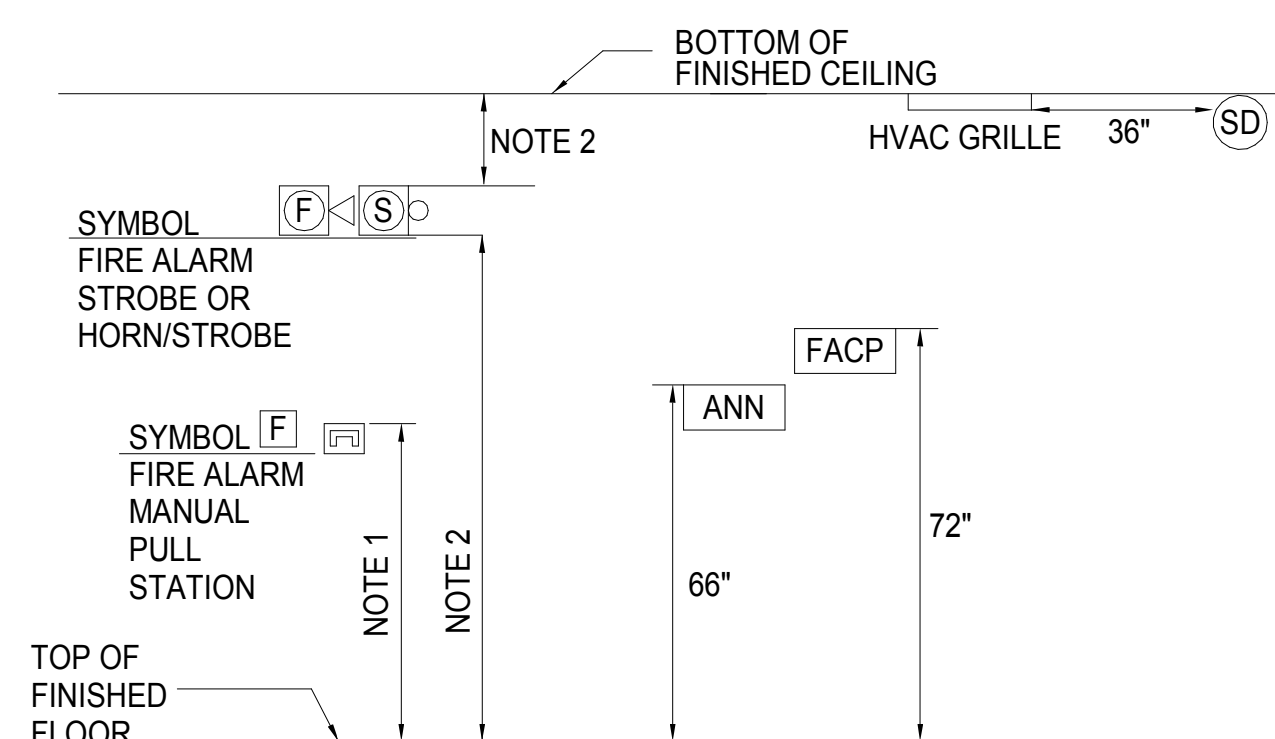
E500

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1 LEVEL 1 FIRE ALARM PLAN

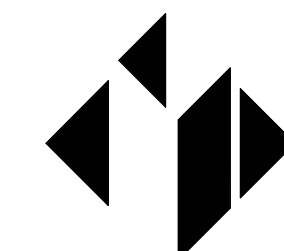
$$1/8" = 1'-0"$$


TYPICAL MOUNTING HEIGHTS FOR WALL MOUNTED DEVICES

SCALE: NON

MOUNTING NOTES:

1. MOUNT PULL STATION AT 4'-0" AFF TO TOP OF BOX.
2. MOUNT STROBE OR HORN/STROBE COMBINATION AT LEAST 8'-0" AFF AND NOT MORE THAN 9'-6" AFF. MOUNT DEVICE AT LEAST 6" DOWN FROM CEILING.
3. MOUNTING HEIGHTS OF ELECTRICAL DEVICES TO MEET NFPA 72 AND ADA CODE REQUIREMENTS.



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864.583.6274
Project Number: 2024-189

GENERAL FIRE ALARM NOTES:

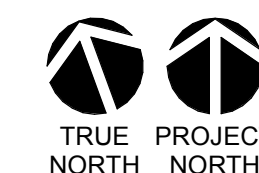
1. THIS PROJECT SHALL COMPLY WITH ALL APPLICABLE STATE AND LOCAL CODES.
2. MOUNT SMOKE DETECTOR WITHIN 5 FEET OF FACP AND NAC PANELS.
3. FIRE ALARM SYSTEM WIRING SHALL BE ROUTED IN TYPE EMT CONDUIT. CONDUIT SHALL BE PAINTED WITH A RED STRIPE AT 10 FOOT INTERVALS AND JUNCTION BOX COVERS SHALL BE PAINTED RED
4. MANUAL PULLS SHALL BE MOUNTED WITHIN 5 FEET OF WHERE PRESSURE IS APPLIED TO OPEN DOOR.
5. ALL STROBE LIGHTS SHALL BE SYNCHRONIZED.
6. STROBE OR SPEAKER STROBES SHALL NOT BE MOUNTED MORE THAN 15 FEET FROM THE END OF CORRIDORS.
7. FIRE ALARM CONTRACTOR TO COORDINATE MOUNTING OF DEVICES WITH LIGHT FIXTURES, AUDIO SPEAKERS, MECHANICAL VENTS, AND ALL OTHER CEILING MOUNTED EQUIPMENT. SO AS TO NOT BLOCK VIEW OF THE AUDIO VISUALS.
8. ALL PENETRATIONS THROUGH FIRE RATED WALLS SHALL BE LABELED AS FIRE WALLS AND SHALL BE CAULKED WITH A UL APPROVED FIRE CAULKING SYSTEM EQUAL TO OR GREATER THAN THE RATING OF THE FIRE WALL. A LABEL SHALL BE APPLIED INDICATING THE APPROVED UL TYPE SYSTEM UTILIZED AT EACH PENETRATION.
9. ALL CIRCUIT BREAKERS SERVING FIRE ALARM COMPONENTS SHALL HAVE A LOCKING DEVICE RED IN COLOR.
10. INSTALL A LABEL INDICATING THE DATE OF MANUFACTURER FOR ALL FIRE ALARM PANEL BACK-UP BATTERIES
11. NEW FIRE ALARM DEVICES TO BE UL RATED AND COMPATIBLE WITH EXISTING SIMPLEX FIRE ALARM SYSTEM
12. FIRE ALARM CONTRACTOR TO COORDINATE WITH FIRE PROTECTION CONTRACTOR TO VERIFY ALL THE QUANTITIES AND LOCATIONS OF ALL FIRE PROTECTION COMPONENTS REQUIRING MONITORING.
13. LIGHTER COLORED DEVICES WITH "ex" ADJACENT DENOTES EXISTING DEVICES TO REMAIN.
14. "re" DENOTES EXISTING DEVICE TO BE RELOCATED TO LOCATION SHOWN.

KEYED FIRE ALARM PLAN NOTES:

- ① DENOTES FIRE & SMOKE DAMPER LOCATION THAT REQUIRES DUCT DETECTOR WITH SAMPLING TUBE. SEE (E301) SMOKE, FIRE DAMPER DETAIL FOR ADDITIONAL INFORMATION.
- ② DENOTES FIRE & SMOKE DAMPER LOCATION THAT REQUIRES "SPOT TYPE" SMOKE DETECTOR MOUNTED MAXIMUM OF 5'-0" FROM DAMPER. DAMPER ACTUATOR TO BE INTERLOCKED WITH SMOKE DETECTOR. SEE (E301) SMOKE, FIRE DAMPER DETAIL FOR ADDITIONAL INFORMATION.

FIRE ALARM LEGEND

- | | | |
|-------|----------|--|
| | SD | SMOKE DETECTOR |
| CO2 | SD | SMOKE DETECTOR WITH CO2 BASE |
| | D | DUCT DETECTOR. HVAC UNIT DESIGNATION BELOW. |
| | HS | HEAT SENSOR |
| CO2 | HS | HEAT SENSOR WITH CO2 BASE |
| | CU | CARBON MONOXIDE DETECTOR |
| | TS | TAMPER MONITOR |
| | FS | FLOW SWITCH |
| | S CEL | CEILING SPEAKER ONLY |
| | F | FIRE ALARM SYSTEM HORN/STROBE UNIT |
| | S | FIRE ALARM SYSTEM STROBE UNIT |
| | F | FIRE ALARM MANUAL PULL STATION |
| | DH | DOOR HOLD OPEN DEVICE |
| | IR | ID NET RELAY |
| | FACP | MAIN FIRE ALARM CONTROL PANEL |
| | ANN | FIRE ALARM ANNUNCIATOR PANEL, RECESSED |
| | NAC | NOTIFICATION EXTENDER PANEL |
| | IAM | INDIVIDUAL ADDRESSIBLE MODULE |
| | KITCH | KITCHEN HOOD MONITOR |
| CLING | | ADJACENT TO DEVICE DENOTES DEVICE TO BE CEILING MOUNTED |
| WG | | ADJACENT TO DEVICE DENOTES DEVICE TO HAVE A PROTECTIVE WIRE GUARD. |

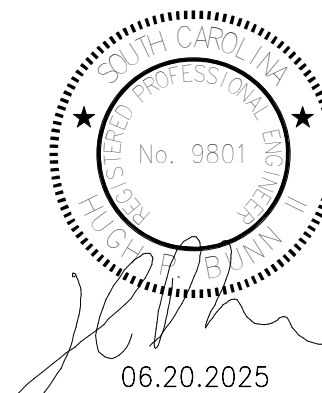
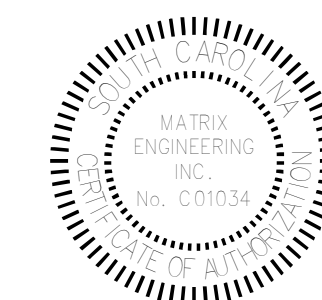


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LS3P PROJECT: 3202-240135

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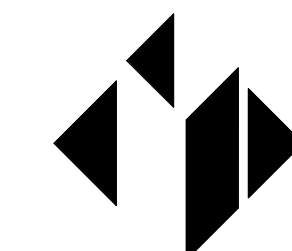
SHEET NAME:
LEVEL 1 FIRE
ALARM PLAN

ORIG 2025.06.20
SUBMISSION:

SHEET:

E501

ISSUED FOR CONSTRUCTION



MATRIX
ENGINEERING, INC.
912 South Pine Street
Spartanburg, South Carolina, 29302
864.583.6274
Project Number: 2024-189

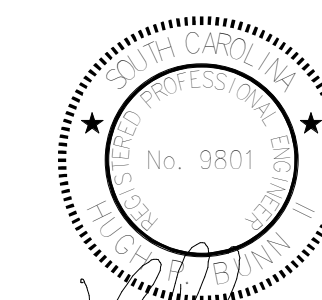
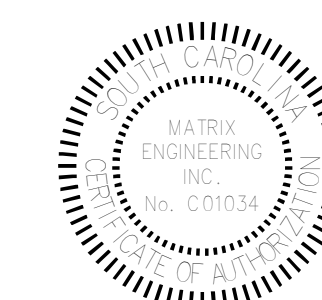


SPARTANBURG
Community College

Spartanburg
Community
College

LS3P

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GREENVILLE, SOUTH CAROLINA 29601
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06.20.2025

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**Terhune Ground Floor and First Floor
Bookstore Renovations H59-6288-JM**

DELIVERY ORDER PROJECT NUMBER: H59-6288-JM

Spartanburg Community College
107 Community College Drive,
Spartanburg, South Carolina 29303

LS3P PROJECT: 3202-240135

[illegible]

SHEET NAME:
LEVEL 1 LV
SYSTEMS PLAN

ORIG SUBMISSION: 2025.06.20

SHEET:

E601

ISSUED FOR CONSTRUCTION



GENERAL LOW VOLTAGE NOTES:

1. ACCESS CONTROL & SURVEILLANCE PLANS ARE GENERIC. COORDINATE ALL SURVEILLANCE AND ACCESS CONTROL REQUIREMENTS WITH SCC IT DEPARTMENT.
2. ELECTRICAL CONTRACTOR TO COORDINATE MOUNTING OF DEVICES WITH LIGHT FIXTURES, AUDIO SPEAKERS, MECHANICAL VENTS, FIRE ALARM DEVICES AND ALL OTHER CEILING MOUNTED EQUIPMENT.
3. ALL LOW VOLTAGE CABLEING TO BE PLENUM RATED.
4. ELECTRICAL CONTRACTOR TO PROVIDE PULL STRING IN LOW VOLTAGE CONDUIT PATHWAYS.
5. SEE ACCESS CONTROL (CARD READER) DETAIL ON SHEET E004.

KEYED LOW VOLTAGE NOTES:

- ① DENOTES SECURITY CAMERA. COORDINATE EXACT CAMERA EQUIPMENT AND LOCATION OF CEILING MOUNTED DATA OUTLET WITH AV CONTRACTOR/SCC IT DEPARTMENT PRIOR TO INSTALLING.
- ② DENOTES DATA CONNECTION MOUNTED AT APPROXIMATELY 7'-0" AFF FOR OWNER PROVIDED DIGITAL CLOCK. COORDINATE EXACT MOUNTING HEIGHT AND DATA REQUIREMENTS WITH SCC IT DEPARTMENT PRIOR TO INSTALLING.
- ③ DENOTES CEILING MOUNTED DATA CONNECTION FOR WIRELESS ACCESS POINT. COORDINATE EXACT MOUNTING LOCATION AND LOW VOLTAGE PATHWAY REQUIREMENTS WITH SCC IT DEPARTMENT.

1 LEVEL 1 LV SYSTEMS PLAN

$$1/8" = 1'-0"$$
